



Roof Survey Data

**Menomonee Falls, School District of
Ben Franklin Elementary School (342)
Roof Area Number: 01**

General Information

Survey Date: 06/13/13
Next Survey Date: 06/01/14
Roof Size (square feet): 5087
Roof Height (feet): 16
Roof Perimeter (lin feet): 303
Roof Traffic: Light
Leak Reported: Yes
Construction Access: Direct
Interior Affect On Roof: No

Historical Information

Roof Installation Date: 1999
System Warranted: No
Warranty Issue Date: 08/13/99 **Warr. Expire Date:** 08/13/09
Installation Contractor: Robert's Roofing and Siding, Inc.
Warranty Holder: GAF Building Materials Corporation
Warranty Number: CPGL-10-2759

Roof Construction

Description: Precast concrete deck - 2-ply temporary roof membrane - 2 courses of 2" polyisocyanurate insulation - 1/2" fiberboard insulation - 4-ply asphalt built-up roof membrane, gravel surface - extended drain sumps
Num. Of Roof Systems: One **Insulation Layers:** Three
Total Insul. Thickness: 4.5" **Total R-Value:** 28.07

Rooftop Projections/Equipment

Description: One square curb - two soil stacks
HVAC Units: One
Pitch Pans: One, abandoned

Roof System Conditions

Deck:	Unknown	Insulation:	Unknown
Membrane:	Requires Preventative Maintenance	Base Flashing:	Good Condition
Membrane Tie-In:	None Present		
Counter Flashing:	Requires Preventative Maintenance		
Metal Edge:	None Present		
Cap Flashing:	Good Condition		
Coping:	None Present		
Gutter Edge:	None Present		
Expansion Joint:	Good Condition		
Wall Exp. Joint:	Good Condition		
Wall Surfaces:			
Require Attention:	No		
Recommendation:	N/A		
Condition Comments:	Wind erosion in southwest corner. Lack of slip flashing at HVAC unit.		

Water Removal

Roof Slope:	1/8 inch/foot	Slope Method:	Tapered Insulation
Drainage Method:	Two drains	Drainage:	Good
Add Drains/Number:	No	Add Taper:	No

Testing Recommended

Structural Analysis:	No	Dew Point Analysis:	No
Infrared Survey:	No	Asbestos Sampling:	No
ACRM Results:	N/A		

General Comments

None.

Conclusions

Year Scheduled Or Projected Service Life:	10-14
Capital Recommendation:	No Work Required
Capital Budget:	\$0
Maintenance Recommendation:	Preventative Maintenance
Maintenance Budget:	\$500

Roof Survey Data

**Menomonee Falls, School District of
Ben Franklin Elementary School (342)
Roof Area Number: 02**

General Information

Survey Date: 06/13/13
Next Survey Date: 06/01/14
Roof Size (square feet): 4535
Roof Height (feet): 16
Roof Perimeter (lin feet): 281
Roof Traffic: Light
Leak Reported: No
Construction Access: Direct
Interior Affect On Roof: No

Historical Information

Roof Installation Date: 1997
System Warranted: No
Warranty Issue Date: 08/17/97 **Warr. Expire Date:** 08/17/07
Installation Contractor: Carlson Racine Roofing, Inc.
Warranty Holder: GAF Building Materials Corporation
Warranty Number: CPGL10-2181

Roof Construction

Description: Precast concrete deck - 1/8" per lineal foot tapered
polyisocyanurate insulation - 1/2" fiberboard insulation - 4-ply
asphalt built-up roof membrane, gravel surface - no core taken
Num. Of Roof Systems: One **Insulation Layers:** Two
Total Insul. Thickness: 3.1" avg **Total R-Value:** 18.9 avg

Rooftop Projections/Equipment

Description: One square curb - five soil stacks
HVAC Units: One on a curb
Pitch Pans: One

Roof System Conditions

Deck:	Unknown	Insulation:	Unknown
Membrane:	Requires Preventative Maintenance	Base Flashing:	Good Condition
Membrane Tie-In:	None Present		
Counter Flashing:	Requires Preventative Maintenance		
Metal Edge:	None Present		
Cap Flashing:	Good Condition		
Coping:	Good Condition		
Gutter Edge:	None Present		
Expansion Joint:	Good Condition		
Wall Exp. Joint:	Good Condition		
Wall Surfaces:			
Require Attention:	No		
Recommendation:	N/A		
Condition Comments:	Erosion of flood coat is beginning to occur at drains. Failed sealant along perimeter sheet metal. Wind erosion in southeast corner. Debris on roof surface.		

Water Removal

Roof Slope:	1/8 inch/foot	Slope Method:	Tapered Insulation
Drainage Method:	Two drains	Drainage:	Good
Add Drains/Number:	No	Add Taper:	No

Testing Recommended

Structural Analysis:	No	Dew Point Analysis:	No
Infrared Survey:	No	Asbestos Sampling:	No
ACRM Results:	N/A		

General Comments

None

Conclusions

Year Scheduled Or Projected Service Life:	6-9
Capital Recommendation:	No Work Required
Capital Budget:	\$0
Maintenance Recommendation:	Preventative Maintenance
Maintenance Budget:	\$400

Roof Survey Data

**Menomonee Falls, School District of
Ben Franklin Elementary School (342)
Roof Area Number: 03**

General Information

Survey Date: 06/13/13
Next Survey Date: 06/01/14
Roof Size (square feet): 1193
Roof Height (feet): 30
Roof Perimeter (lin feet): 210
Roof Traffic: Light
Leak Reported: No
Construction Access: Multiple Lifts
Interior Affect On Roof: No

Historical Information

Roof Installation Date: 1999
System Warranted: No
Warranty Issue Date: 08/13/99 **Warr. Expire Date:** 08/13/09
Installation Contractor: Robert's Roofing and Siding, Inc.
Warranty Holder: GAF Building Materials Corporation
Warranty Number: CPGL10-2759

Roof Construction

Description: Precast concrete deck - 2-ply temporary roof membrane -
1/8" (per lineal foot) tapered polyisocyanurate insulation - 1/2"
fiberboard insulation - 4-ply asphalt built-up roof membrane,
gravel surface
Num. Of Roof Systems: One **Insulation Layers:** Three
Total Insul. Thickness: 3.4" avg **Total R-Value:** 20.98 avg

Rooftop Projections/Equipment

Description: Four soil stacks
HVAC Units: None Present
Pitch Pans: None Present

Roof System Conditions

Deck:	Unknown	Insulation:	Unknown
Membrane:	Requires Preventative Maintenance	Base Flashing:	Good Condition
Membrane Tie-In:	None Present		
Counter Flashing:	None Present		
Metal Edge:	None Present		
Cap Flashing:	Good Condition		
Coping:	Good Condition		
Gutter Edge:	None Present		
Expansion Joint:	Good Condition		
Wall Exp. Joint:	None Present		
Wall Surfaces:			
Require Attention:	None Present		
Recommendation:	N/A		
Condition Comments:	Erosion of floodcoat in the SE and SW corner.		

Water Removal

Roof Slope:	1/8 inch/foot	Slope Method:	Tapered Insulation
Drainage Method:	Two drains	Drainage:	Good
Add Drains/Number:	No	Add Taper:	No

Testing Recommended

Structural Analysis:	No	Dew Point Analysis:	No
Infrared Survey:	No	Asbestos Sampling:	No
ACRM Results:	N/A		

General Comments

Minor preventative maintenance is necessary to facilitate the proper performance of this roof area through the duration of its designed service life.

Conclusions

Year Scheduled Or Projected Service Life:	10-14
Capital Recommendation:	No Work Required
Capital Budget:	\$0
Maintenance Recommendation:	Preventative Maintenance
Maintenance Budget:	\$200

Roof Survey Data

**Menomonee Falls, School District of
Ben Franklin Elementary School (342)
Roof Area Number: 04**

General Information

Survey Date: 06/13/13
Next Survey Date: 06/01/14
Roof Size (square feet): 8395
Roof Height (feet): 30
Roof Perimeter (lin feet): 367
Roof Traffic: Light
Leak Reported: No
Construction Access: Multiple Lifts
Interior Affect On Roof: No

Historical Information

Roof Installation Date: 1999
System Warranted: No
Warranty Issue Date: 08/13/99 **Warr. Expire Date:** 08/13/09
Installation Contractor: Robert's Roofing and Siding, Inc.
Warranty Holder: GAF Building Materials Corporation
Warranty Number: CPGL10-2759

Roof Construction

Description: Precast concrete deck - 2-ply temporary roof membrane - 2
Layers of 2" polyisocyanurate insulation - 1/2" fiberboard
insulation - 4-ply asphalt built-up roof membrane, gravel surface
Num. Of Roof Systems: One **Insulation Layers:** Three
Total Insul. Thickness: 4.5" **Total R-Value:** 28.07

Rooftop Projections/Equipment

Description: None
HVAC Units: None Present
Pitch Pans: None Present

Roof System Conditions

Deck:	Unknown	Insulation:	Unknown
Membrane:	Good Condition	Base Flashing:	Good Condition
Membrane Tie-In:	None Present		
Counter Flashing:	None Present		
Metal Edge:	None Present		
Cap Flashing:	Good Condition		
Coping:	Good Condition		
Gutter Edge:	None Present		
Expansion Joint:	Good Condition		
Wall Exp. Joint:	None Present		
Wall Surfaces:			
Require Attention:	None Present		
Recommendation:	N/A		
Condition Comments:	Erosion of flood coat beginning around roof drains. Two broken strainers and one incorrect strainer.		

Water Removal

Roof Slope:	1/8 inch/foot	Slope Method:	Tapered Insulation
Drainage Method:	Four drains	Drainage:	Good
Add Drains/Number:	No	Add Taper:	No

Testing Recommended

Structural Analysis:	No	Dew Point Analysis:	No
Infrared Survey:	No	Asbestos Sampling:	No
ACRM Results:	N/A		

General Comments

Roof system is in good condition, but some preventative maintenance is necessary to facilitate the proper performance of this roof area through the duration of its designed service life.

Conclusions

Year Scheduled Or Projected Service Life:	10-14
Capital Recommendation:	No Work Required
Capital Budget:	\$0
Maintenance Recommendation:	Preventative Maintenance
Maintenance Budget:	\$100

Roof Survey Data

**Menomonee Falls, School District of
Ben Franklin Elementary School (342)
Roof Area Number: 05**

General Information

Survey Date: 06/13/13
Next Survey Date: 06/01/14
Roof Size (square feet): 2783
Roof Height (feet): 16
Roof Perimeter (lin feet): 211
Roof Traffic: Light
Leak Reported: No
Construction Access: Direct
Interior Affect On Roof: No

Historical Information

Roof Installation Date: 2002
System Warranted: No
Warranty Issue Date: 09/01/02 **Warr. Expire Date:** 09/01/12
Installation Contractor: J.T. Roofing, Inc.
Warranty Holder: Johns-Manville Corporation
Warranty Number: FPB071018143

Roof Construction

Description: Concrete deck - 1" perlite insulation - 2-ply temporary roof - tapered polyisocyanurate insulation - 1/2" fiberboard insulation - 4-ply asphalt built-up roof membrane, gravel surface
Num. Of Roof Systems: Two **Insulation Layers:** Three
Total Insul. Thickness: 5" avg **Total R-Value:** 27.31 avg

Rooftop Projections/Equipment

Description: Two square curbs - two soil stacks
HVAC Units: None
Pitch Pans: None

Roof System Conditions

Deck:	Unknown	Insulation:	Unknown
Membrane:	Requires Preventative Maintenance	Base Flashing:	Good Condition
Membrane Tie-In:	Requires Remedial Maintenance		
Counter Flashing:	Requires Preventative Maintenance		
Metal Edge:	None Present		
Cap Flashing:	Good Condition		
Coping:	None Present		
Gutter Edge:	None Present		
Expansion Joint:	None Present		
Wall Exp. Joint:	None Present		
Wall Surfaces:			
Require Attention:	Yes		
Recommendation:	Replace sealant in control joints (30 LF)		
Condition Comments:	In a ten foot (10') section, the counterflashing has pulled away from the through-wall flashing. Wind erosion in southwest corner. Failed sealant at counterflashing. Organic debris noted.		

Water Removal

Roof Slope:	1/8 inch/foot	Slope Method:	Tapered Insulation
Drainage Method:	One drain	Drainage:	Good
Add Drains/Number:	No	Add Taper:	No

Testing Recommended

Structural Analysis:	No	Dew Point Analysis:	No
Infrared Survey:	No	Asbestos Sampling:	No
ACRM Results:	N/A		

General Comments

Some minor preventative maintenance is necessary to facilitate the proper performance of this roof area through the duration of its designed service life.

Conclusions

Year Scheduled Or Projected Service Life:	10-14
Capital Recommendation:	No Work Required
Capital Budget:	\$0
Maintenance Recommendation:	Preventative Maintenance
Maintenance Budget:	\$1500

Roof Survey Data

**Menomonee Falls, School District of
Ben Franklin Elementary School (342)
Roof Area Number: 06**

General Information

Survey Date: 06/13/13
Next Survey Date: 06/01/14
Roof Size (square feet): 7231
Roof Height (feet): 16
Roof Perimeter (lin feet): 580
Roof Traffic: Light
Leak Reported: Yes
Construction Access: Direct
Interior Affect On Roof: No

Historical Information

Roof Installation Date: 1996
System Warranted: No
Warranty Issue Date: 10/17/96 **Warr. Expire Date:** 10/17/06
Installation Contractor: J.T. Roofing, Inc.
Warranty Holder: GAF Building Materials Corporation
Warranty Number: CPGL10-2092

Roof Construction

Description: Precast concrete roof deck - 1/8" (per lineal foot) tapered
polyisocyanurate insulation - 1/2 fiberboard insulation - 4-ply
asphalt built-up roof membrane, gravel surface - no core taken
Num. Of Roof Systems: One **Insulation Layers:** Two
Total Insul. Thickness: 3" avg **Total R-Value:** 18.07 avg

Rooftop Projections/Equipment

Description: Five square curbs - two pipe vents (stacks) - seven soil stacks -
one chimney
HVAC Units: None Present
Pitch Pans: None Present

Roof System Conditions

Deck:	Unknown	Insulation:	Unknown
Membrane:	Requires Preventative Maintenance	Base Flashing:	Good Condition
Membrane Tie-In:	None Present		
Counter Flashing:	Requires Preventative Maintenance		
Metal Edge:	None Present		
Cap Flashing:	Requires Preventative Maintenance		
Coping:	Good Condition		
Gutter Edge:	None Present		
Expansion Joint:	Good Condition		
Wall Exp. Joint:	Good Condition		
Wall Surfaces:			
Require Attention:	No		
Recommendation:	N/A		
Condition Comments:	Construction debris, organic debris, erosion of the floodcoat, and a missing batten plant on the southern cap flashing. Failed sealant along counterflashing.		

Water Removal

Roof Slope:	1/8 inch/foot	Slope Method:	Tapered Insulation
Drainage Method:	Five drains	Drainage:	Good
Add Drains/Number:	No	Add Taper:	No

Testing Recommended

Structural Analysis:	No	Dew Point Analysis:	No
Infrared Survey:	No	Asbestos Sampling:	No
ACRM Results:	N/A		

General Comments

Minor preventative maintenance is necessary to facilitate the proper performance of this roof area through the duration of its designed service life. One leak appears to be below the roof drain.

Conclusions

Year Scheduled Or Projected Service Life:	6-9
Capital Recommendation:	No Work Required
Capital Budget:	\$0
Maintenance Recommendation:	Preventative Maintenance
Maintenance Budget:	\$1200

Roof Survey Data

**Menomonee Falls, School District of
Ben Franklin Elementary School (342)
Roof Area Number: 07**

General Information

Survey Date: 06/13/13
Next Survey Date: 06/01/14
Roof Size (square feet): 5099
Roof Height (feet): 18
Roof Perimeter (lin feet): 286
Roof Traffic: None
Leak Reported: No
Construction Access: Direct
Interior Affect On Roof: No

Historical Information

Roof Installation Date: 2002
System Warranted: No
Warranty Issue Date: 09/01/02 **Warr. Expire Date:** 09/01/12
Installation Contractor: J.T. Roofing, Inc.
Warranty Holder: Johns-Manville Corporation
Warranty Number: FOP071018145

Roof Construction

Description: Concrete deck - 1" perlite insulation - 1-ply temporary roof membrane - 1-1/2" polyisocyanurate fully-adhered insulation - 50-mil reinforced PVC single-ply
Num. Of Roof Systems: One **Insulation Layers:** Two
Total Insul. Thickness: 2.5" **Total R-Value:** 12.78

Rooftop Projections/Equipment

Description: None Present
HVAC Units: None Present
Pitch Pans: None Present

Roof System Conditions

Deck:	Unknown	Insulation:	Unknown
Membrane:	Requires Preventative Maintenance	Base Flashing:	None Present
Membrane Tie-In:	None Present		
Counter Flashing:	None Present		
Metal Edge:	Good Condition		
Cap Flashing:	None Present		
Coping:	None Present		
Gutter Edge:	None Present		
Expansion Joint:	None Present		
Wall Exp. Joint:	None Present		
Wall Surfaces:			
Require Attention:	None Present		
Recommendation:	N/A		
Condition Comments:	Organic debris noted along perimeters. Minor tenting at slope transitions. Ponding water in valleys. A few partially open seams noted.		

Water Removal

Roof Slope:	9 inches/foot	Slope Method:	Structural
Drainage Method:	Eave run-off	Drainage:	Fair
Add Drains/Number:	No	Add Taper:	No

Testing Recommended

Structural Analysis:	No	Dew Point Analysis:	No
Infrared Survey:	No	Asbestos Sampling:	No
ACRM Results:	N/A		

General Comments

This roof is generally in good condition.

Conclusions

Year Scheduled Or Projected Service Life:	6-9
Capital Recommendation:	No Work Required
Capital Budget:	\$0
Maintenance Recommendation:	Preventative Maintenance
Maintenance Budget:	\$400

Roof Survey Data

**Menomonee Falls, School District of
Ben Franklin Elementary School (342)
Roof Area Number: 08**

General Information

Survey Date: 06/13/13
Next Survey Date: 06/01/14
Roof Size (square feet): 3088
Roof Height (feet): 30
Roof Perimeter (lin feet): 224
Roof Traffic: Light
Leak Reported: No
Construction Access: Direct
Interior Affect On Roof: No

Historical Information

Roof Installation Date: 1999
System Warranted: No
Warranty Issue Date: 08/13/99 **Warr. Expire Date:** 08/13/09
Installation Contractor: Robert's Roofing and Siding, Inc.
Warranty Holder: GAF Building Materials Corporation
Warranty Number: CPGL10-2759

Roof Construction

Description: Precast concrete deck - 2 Layers of 2" polyisocyanurate
insulation - 1/2" fiberboard insulation - 4-ply asphalt built-up
roof membrane, gravel surface
Num. Of Roof Systems: One **Insulation Layers:** Three
Total Insul. Thickness: 4.5" **Total R-Value:** 28.07

Rooftop Projections/Equipment

Description: One square curb - three soil stacks
HVAC Units: None Present
Pitch Pans: None Present

Roof System Conditions

Deck:	Unknown	Insulation:	Unknown
Membrane:	Requires Preventative Maintenance	Base Flashing:	Good Condition
Membrane Tie-In:	None Present		
Counter Flashing:	None Present		
Metal Edge:	None Present		
Cap Flashing:	Good Condition		
Coping:	Requires Preventative Maintenance		
Gutter Edge:	None Present		
Expansion Joint:	Good Condition		
Wall Exp. Joint:	None Present		
Wall Surfaces:			
Require Attention:	None Present		
Recommendation:	N/A		
Condition Comments:	Erosion of floodcoat in the southwest corner, failed sealant at perimeter sheet metal terminations		

Water Removal

Roof Slope:	1/8 inch/foot	Slope Method:	Tapered Insulation
Drainage Method:	Two drains	Drainage:	Good
Add Drains/Number:	No	Add Taper:	No

Testing Recommended

Structural Analysis:	No	Dew Point Analysis:	No
Infrared Survey:	No	Asbestos Sampling:	No
ACRM Results:	N/A		

General Comments

Some preventative maintenance is necessary to facilitate the proper performance of this roof area through the duration of its designed service life.

Conclusions

Year Scheduled Or Projected Service Life:	10-14
Capital Recommendation:	No Work Required
Capital Budget:	\$0
Maintenance Recommendation:	Preventative Maintenance
Maintenance Budget:	\$200

Roof Survey Data

**Menomonee Falls, School District of
Ben Franklin Elementary School (342)
Roof Area Number: 09**

General Information

Survey Date: 06/13/13
Next Survey Date: 06/01/14
Roof Size (square feet): 5063
Roof Height (feet): 30
Roof Perimeter (lin feet): 302
Roof Traffic: Light
Leak Reported: No
Construction Access: Indirect
Interior Affect On Roof: No

Historical Information

Roof Installation Date: 1999
System Warranted: No
Warranty Issue Date: 08/13/99 **Warr. Expire Date:** 08/13/09
Installation Contractor: Robert's Roofing and Siding, Inc.
Warranty Holder: GAF Building Materials Corporation
Warranty Number: CPGL10-2759

Roof Construction

Description: Precast concrete deck - 2 Layers of 2" polyisocyanurate
insulation - 1/2" fiberboard insulation - 4-ply asphalt built-up
roof membrane, gravel surface
Num. Of Roof Systems: One **Insulation Layers:** Three
Total Insul. Thickness: 4.5" **Total R-Value:** 28.07

Rooftop Projections/Equipment

Description: Two square curbs - one soil stack - one pipe portal
HVAC Units: One A.C. unit on 4x4s
Pitch Pans: None Present

Roof System Conditions

Deck:	Unknown	Insulation:	Unknown
Membrane:	Good Condition	Base Flashing:	Good Condition
Membrane Tie-In:	None Present		
Counter Flashing:	None Present		
Metal Edge:	None Present		
Cap Flashing:	Requires Preventative Maintenance		
Coping:	Good Condition		
Gutter Edge:	None Present		
Expansion Joint:	Good Condition		
Wall Exp. Joint:	None Present		
Wall Surfaces:			
Require Attention:	None Present		
Recommendation:	N/A		
Condition Comments:	No sealant or band clamp on the conduit in the pipe portal. Failed sealant at cap flashing terminations.		

Water Removal

Roof Slope:	1/8 inch/foot	Slope Method:	Tapered Insulation
Drainage Method:	Two drains	Drainage:	Good
Add Drains/Number:	No	Add Taper:	No

Testing Recommended

Structural Analysis:	No	Dew Point Analysis:	No
Infrared Survey:	No	Asbestos Sampling:	No
ACRM Results:	N/A		

General Comments

Minor preventative maintenance is necessary to facilitate the proper performance of this roof area through the duration of its designed service life.

Conclusions

Year Scheduled Or Projected Service Life:	10-14
Capital Recommendation:	No Work Required
Capital Budget:	\$0
Maintenance Recommendation:	Preventative Maintenance
Maintenance Budget:	\$400

Roof Survey Data

**Menomonee Falls, School District of
Ben Franklin Elementary School (342)
Roof Area Number: 10**

General Information

Survey Date: 06/13/13
Next Survey Date: 06/01/14
Roof Size (square feet): 12319
Roof Height (feet): 30
Roof Perimeter (lin feet): 484
Roof Traffic: Light
Leak Reported: Yes
Construction Access: Direct
Interior Affect On Roof: No

Historical Information

Roof Installation Date: 2002
System Warranted: No
Warranty Issue Date: 09/01/02 **Warr. Expire Date:** 09/01/12
Installation Contractor: J.T. Roofing, Inc.
Warranty Holder: Johns-Manville Corporation
Warranty Number: FPB071018143

Roof Construction

Description: Concrete deck - 1" perlite insulation - 2-ply temporary roof - tapered polyisocyanurate insulation 1.5" start 1/8 inch/foot - 1/2" fiberboard insulation - 4-ply asphalt built-up roof, gravel surface
Num. Of Roof Systems: One **Insulation Layers:** Three
Total Insul. Thickness: 5.2" avg **Total R-Value:** 28.87 avg

Rooftop Projections/Equipment

Description: Two square curbs - two pipe vents (stacks) - thirteen soil stacks - one pipe portal
HVAC Units: Two A.C. units on 4x4s
Pitch Pans: None Present

Roof System Conditions

Deck:	Unknown	Insulation:	Unknown
Membrane:	Requires Preventative Maintenance	Base Flashing:	Good Condition
Membrane Tie-In:	None Present		
Counter Flashing:	None Present		
Metal Edge:	None Present		
Cap Flashing:	Requires Preventative Maintenance		
Coping:	Good Condition		
Gutter Edge:	None Present		
Expansion Joint:	Good Condition		
Wall Exp. Joint:	None Present		
Wall Surfaces:			
Require Attention:	None Present		
Recommendation:	N/A		
Condition Comments:	Wind erosion in northwest corner. The conduit on the pipe portal is missing a band clamp. Failed sealant at cap flashing corner.		

Water Removal

Roof Slope:	1/8 inch/foot	Slope Method:	Tapered Insulation
Drainage Method:	Three drains	Drainage:	Good
Add Drains/Number:	No	Add Taper:	No

Testing Recommended

Structural Analysis:	No	Dew Point Analysis:	No
Infrared Survey:	No	Asbestos Sampling:	No
ACRM Results:	N/A		

General Comments

Flood coat is eroding around drains. One leak appears to be below middle roof drain.

Conclusions

Year Scheduled Or Projected Service Life:	15-19
Capital Recommendation:	No Work Required
Capital Budget:	\$0
Maintenance Recommendation:	Preventative Maintenance
Maintenance Budget:	\$900

Roof Survey Data

**Menomonee Falls, School District of
Ben Franklin Elementary School (342)
Roof Area Number: 11**

General Information

Survey Date: 06/13/13
Next Survey Date: 06/01/14
Roof Size (square feet): 15841
Roof Height (feet): 30
Roof Perimeter (lin feet): 583
Roof Traffic: Light
Leak Reported: No
Construction Access: Direct
Interior Affect On Roof: No

Historical Information

Roof Installation Date: 1997
System Warranted: No
Warranty Issue Date: 08/17/97 **Warr. Expire Date:** 08/17/07
Installation Contractor: Carlson Racine Roofing, Inc.
Warranty Holder: GAF Building Materials Corporation
Warranty Number: CPGL10-2181

Roof Construction

Description: Precast concrete deck - 2-ply vapor retarder - 1/8" (per lineal foot) tapered polyisocyanurate with 1.5" start - 1/2" fiberboard insulation - 4-ply asphalt built-up roof membrane, gravel surface - no core taken
Num. Of Roof Systems: One **Insulation Layers:** Two
Total Insul. Thickness: 4.3" avg **Total R-Value:** 26.61 avg

Rooftop Projections/Equipment

Description: Six square curbs - seven soil stacks - one pipe portal
HVAC Units: One A.C. unit on 4x4s
Pitch Pans: None

Roof System Conditions

Deck:	Unknown	Insulation:	Unknown
Membrane:	Requires Preventative Maintenance	Base Flashing:	Requires Preventative Maintenance
Membrane Tie-In:	None Present		
Counter Flashing:	None Present		
Metal Edge:	None Present		
Cap Flashing:	Good Condition		
Coping:	Good Condition		
Gutter Edge:	None Present		
Expansion Joint:	Good Condition		
Wall Exp. Joint:	None Present		
Wall Surfaces:			
Require Attention:	None Present		
Recommendation:	N/A		
Condition Comments:	There is no sealant or band clamp on the conduit running into the pipe portal. Several wind blown corners. Exposed top edge of base flashings in southwest corner. Partially open corner flashing.		

Water Removal

Roof Slope:	1/8 inch/foot	Slope Method:	Tapered Insulation
Drainage Method:	Three drains	Drainage:	Good
Add Drains/Number:	No	Add Taper:	No

Testing Recommended

Structural Analysis:	No	Dew Point Analysis:	No
Infrared Survey:	No	Asbestos Sampling:	No
ACRM Results:	N/A		

General Comments

Minor preventative maintenance is necessary to facilitate the proper performance of this roof area through the duration of its designed service life.

Conclusions

Year Scheduled Or Projected Service Life:	10-14
Capital Recommendation:	No Work Required
Capital Budget:	\$0
Maintenance Recommendation:	Preventative Maintenance
Maintenance Budget:	\$1000

Roof Survey Data

**Menomonee Falls, School District of
Ben Franklin Elementary School (342)
Roof Area Number: 12**

General Information

Survey Date: 06/13/13
Next Survey Date: 06/01/14
Roof Size (square feet): 9826
Roof Height (feet): 16
Roof Perimeter (lin feet): 543
Roof Traffic: Light
Leak Reported: Yes
Construction Access: Direct
Interior Affect On Roof: No

Historical Information

Roof Installation Date: 1996
System Warranted: No
Warranty Issue Date: 10/17/96 **Warr. Expire Date:** 10/17/06
Installation Contractor: J.T. Roofing, Inc.
Warranty Holder: GAF Building Materials Corporation
Warranty Number: CPGL10-2092

Roof Construction

Description: Precast concrete deck - 2-ply vapor retarder - 1/8" (per lineal foot) tapered polyisocyanurate insulation - 1/2" fiberboard insulation - 4-ply asphalt built-up roof membrane, gravel surface - no core taken
Num. Of Roof Systems: One **Insulation Layers:** Two
Total Insul. Thickness: 5.6" avg **Total R-Value:** 35.16 avg

Rooftop Projections/Equipment

Description: Five square curbs - one pipe vent (stack) - four soil stacks
HVAC Units: None Present
Pitch Pans: None Present

Roof System Conditions

Deck:	Unknown	Insulation:	Unknown
Membrane:	Requires Preventative Maintenance	Base Flashing:	Good Condition
Membrane Tie-In:	None Present		
Counter Flashing:	Requires Preventative Maintenance		
Metal Edge:	None Present		
Cap Flashing:	Good Condition		
Coping:	None Present		
Gutter Edge:	None Present		
Expansion Joint:	None Present		
Wall Exp. Joint:	None Present		
Wall Surfaces:			
Require Attention:	No		
Recommendation:	N/A		
Condition Comments:	Accumulation of organic debris. Wind erosion in northwest corner. Failed sealant at sheet metal terminations.		

Water Removal

Roof Slope:	1/8 inch/foot	Slope Method:	Tapered Insulation
Drainage Method:	Four drains	Drainage:	Good
Add Drains/Number:	No	Add Taper:	No

Testing Recommended

Structural Analysis:	No	Dew Point Analysis:	No
Infrared Survey:	No	Asbestos Sampling:	No
ACRM Results:	N/A		

General Comments

Through-wall flashing has recently been replaced.

Conclusions

Year Scheduled Or Projected Service Life:	6-9
Capital Recommendation:	No Work Required
Capital Budget:	\$0
Maintenance Recommendation:	Preventative Maintenance
Maintenance Budget:	\$500

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Roof Survey Data

**Menomonee Falls, School District of
Riverside Elementary School (701)
Roof Area Number: 01**

General Information

Survey Date: 06/13/13
Next Survey Date: 06/01/14
Roof Size (square feet): 14488
Roof Height (feet): 16
Roof Perimeter (lin feet): 613
Roof Traffic: Light
Leak Reported: No
Construction Access: Direct
Interior Affect On Roof: No

Historical Information

Roof Installation Date: 2001
System Warranted: No
Warranty Issue Date: 07/22/01 **Warr. Expire Date:** 07/22/11
Installation Contractor: Kraftsmen Roofing, Inc.
Warranty Holder: Johns-Manville Corporation
Warranty Number: FNB071004559

Roof Construction

Description: Precast concrete deck - tapered polyisocyanurate insulation 1" start 1/8 inch/foot - 1/2" fiberboard insulation - 4-ply asphalt built-up roof, gravel surface
Num. Of Roof Systems: One **Insulation Layers:** Two
Total Insul. Thickness: 3.8" avg **Total R-Value:** 23.07 avg

Rooftop Projections/Equipment

Description: Four square curbs - nine soil stacks
HVAC Units: None Present
Pitch Pans: None Present

Roof System Conditions

Deck:	Unknown	Insulation:	Unknown
Membrane:	Requires Preventative Maintenance	Base Flashing:	Requires Preventative Maintenance
Membrane Tie-In:	None Present		
Counter Flashing:	Requires Preventative Maintenance		
Metal Edge:	None Present		
Cap Flashing:	Good Condition		
Coping:	Requires Preventative Maintenance		
Gutter Edge:	None Present		
Expansion Joint:	Good Condition		
Wall Exp. Joint:	Good Condition		
Wall Surfaces:			
Require Attention:	No		
Recommendation:	N/A		
Condition Comments:	Failed sealant at perimeter sheet metal terminations. Delaminated corner flashing in one location. Debris on roof surface and around drains. Wind erosion in southwest corner.		

Water Removal

Roof Slope:	1/8 inch/foot	Slope Method:	Tapered Insulation
Drainage Method:	Six drains	Drainage:	Good
Add Drains/Number:	No	Add Taper:	No

Testing Recommended

Structural Analysis:	No	Dew Point Analysis:	No
Infrared Survey:	No	Asbestos Sampling:	No
ACRM Results:	N/A		

General Comments

Roof is generally in good condition with minor preventative maintenance items.

Conclusions

Year Scheduled Or Projected Service Life:	10-14
Capital Recommendation:	No Work Required
Capital Budget:	\$0
Maintenance Recommendation:	Preventative Maintenance
Maintenance Budget:	\$1200

Roof Survey Data

**Menomonee Falls, School District of
Riverside Elementary School (701)
Roof Area Number: 02**

General Information

Survey Date: 06/13/13
Next Survey Date: 06/01/14
Roof Size (square feet): 12014
Roof Height (feet): 16
Roof Perimeter (lin feet): 522
Roof Traffic: Light
Leak Reported: No
Construction Access: Direct
Interior Affect On Roof: No

Historical Information

Roof Installation Date: 2003
System Warranted: Yes
Warranty Issue Date: 08/08/03 **Warr. Expire Date:** 08/08/13
Installation Contractor: Specialty Associates, Inc. (SAI)
Warranty Holder: Firestone Building Products Company
Warranty Number: RB102062

Roof Construction

Description: Precast concrete deck - 1" perlite insulation - 2-ply temporary - tapered polyisocyanurate insulation 1.5" start 1/8 inch/foot - 1/2" fiberboard - 4-ply asphalt built-up roof, gravel surface
Num. Of Roof Systems: One **Insulation Layers:** Three
Total Insul. Thickness: 6.2" avg **Total R-Value:** 35.44 avg

Rooftop Projections/Equipment

Description: Five square curbs - two pipe vents - twelve soil stacks - one roof hatch - one chimney - one pipe portal
HVAC Units: One on curbs - one on 4x4s
Pitch Pans: None Present

Roof System Conditions

Deck:	Unknown	Insulation:	Unknown
Membrane:	Requires Preventative Maintenance	Base Flashing:	Requires Preventative Maintenance
Membrane Tie-In:	None Present		
Counter Flashing:	Requires Preventative Maintenance		
Metal Edge:	None Present		
Cap Flashing:	Good Condition		
Coping:	None Present		
Gutter Edge:	None Present		
Expansion Joint:	Good Condition		
Wall Exp. Joint:	None Present		
Wall Surfaces:			
Require Attention:	Yes		
Recommendation:	Deterioration of chimney		
Condition Comments:	Failed sealant at sheet metal terminations. Wind erosion in northwest corner. Delaminated corner flashings. Debris around drains. Failed sealant along surface mounted counterflashing at chimney.		

Water Removal

Roof Slope:	1/8 inch/foot	Slope Method:	Tapered Insulation
Drainage Method:	Two drains	Drainage:	Good
Add Drains/Number:	No	Add Taper:	No

Testing Recommended

Structural Analysis:	No	Dew Point Analysis:	No
Infrared Survey:	No	Asbestos Sampling:	No
ACRM Results:	N/A		

General Comments

Roof is generally in good condition but requires some minor preventative maintenance. Chimney needs attention.

Conclusions

Year Scheduled Or Projected Service Life:	15-19
Capital Recommendation:	No Work Required
Capital Budget:	\$0
Maintenance Recommendation:	Preventative Maintenance
Maintenance Budget:	\$1600

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Roof Survey Data

**Menomonee Falls, School District of
Shady Lane Elementary School (118)
Roof Area Number: 01**

General Information

Survey Date: 06/17/13
Next Survey Date: 06/01/14
Roof Size (square feet): 4565
Roof Height (feet): 25
Roof Perimeter (lin feet): 275
Roof Traffic: Light
Leak Reported: No
Construction Access: Direct
Interior Affect On Roof: No

Historical Information

Roof Installation Date: 08/25/95
System Warranted: No
Warranty Issue Date: 11/30/95 **Warr. Expire Date:** 11/30/05
Installation Contractor: Performance Roofing Systems, Inc.
Warranty Holder: Carlisle SynTec Systems
Warranty Number: AB#950934C

Roof Construction

Description: Precast concrete deck - expanded polystyrene insulation, loose laid - .045 EPDM single-ply roof membrane - stone ballast - no core taken
Num. Of Roof Systems: One **Insulation Layers:** Unknown
Total Insul. Thickness: Unknown **Total R-Value:** Unknown

Rooftop Projections/Equipment

Description: Two square curbs
HVAC Units: None Present
Pitch Pans: None Present

Roof System Conditions

Deck:	Unknown	Insulation:	Unknown
Membrane:	Requires Preventative Maintenance	Base Flashing:	Requires Preventative Maintenance
Membrane Tie-In:	None Present		
Counter Flashing:	Good Condition		
Metal Edge:	None Present		
Cap Flashing:	None Present		
Coping:	Good Condition		
Gutter Edge:	None Present		
Expansion Joint:	None Present		
Wall Exp. Joint:	None Present		
Wall Surfaces:			
Require Attention:	No		
Recommendation:	N/A		
Condition Comments:	Beginning to show sings of deterioration. Moderate shrinkage and partial adhesive failure at seams. Debris on roof. Open base flashing lap.		

Water Removal

Roof Slope:	1/4 inch/foot	Slope Method:	Structural
Drainage Method:	2 drains, 2 overflow scuppers	Drainage:	Good
Add Drains/Number:	No	Add Taper:	No

Testing Recommended

Structural Analysis:	No	Dew Point Analysis:	No
Infrared Survey:	No	Asbestos Sampling:	No
ACRM Results:	N/A		

General Comments

None.

Conclusions

Year Scheduled Or Projected Service Life:	2014
Capital Recommendation:	Replacement
Capital Budget:	\$41000
Maintenance Recommendation:	Repairs Only
Maintenance Budget:	\$200

Roof Survey Data

**Menomonee Falls, School District of
Shady Lane Elementary School (118)
Roof Area Number: 02**

General Information

Survey Date: 06/17/13
Next Survey Date: 06/01/14
Roof Size (square feet): 2094
Roof Height (feet): 20
Roof Perimeter (lin feet): 293
Roof Traffic: Light
Leak Reported: No
Construction Access: Direct
Interior Affect On Roof: No

Historical Information

Roof Installation Date: 08/25/95
System Warranted: No
Warranty Issue Date: 11/30/95 **Warr. Expire Date:** 11/30/05
Installation Contractor: Performance Roofing Systems, Inc.
Warranty Holder: Carlisle SynTec Systems
Warranty Number: AB#950934C

Roof Construction

Description: Precast concrete deck - expanded polystyrene insulation, loose laid - .045 EPDM single-ply roof membrane - stone ballast - no core taken
Num. Of Roof Systems: One **Insulation Layers:** Unknown
Total Insul. Thickness: Unknown **Total R-Value:** Unknown

Rooftop Projections/Equipment

Description: Two soil stacks - one roof hatch
HVAC Units: None Present
Pitch Pans: None Present

Roof System Conditions

Deck:	Unknown	Insulation:	Unknown
Membrane:	Requires Preventative Maintenance	Base Flashing:	Requires Preventative Maintenance
Membrane Tie-In:	None Present		
Counter Flashing:	Requires Preventative Maintenance		
Metal Edge:	None Present		
Cap Flashing:	None Present		
Coping:	Good Condition		
Gutter Edge:	None Present		
Expansion Joint:	None Present		
Wall Exp. Joint:	None Present		
Wall Surfaces:			
Require Attention:	Yes		
Recommendation:	Masonry veneer is step-cracked above the coping termination in the NE corner.		
Condition Comments:	Tenting of base flashing. Failed sealant along counter flashing. Open laps in base flashing.		

Water Removal

Roof Slope:	1/2 inch/foot	Slope Method:	Structural
Drainage Method:	3 drains, 1 overflow scupper	Drainage:	Fair
Add Drains/Number:	No	Add Taper:	Saddles Only

Testing Recommended

Structural Analysis:	No	Dew Point Analysis:	No
Infrared Survey:	No	Asbestos Sampling:	No
ACRM Results:	N/A		

General Comments

Evidence of ponding water near east roof drain.

Conclusions

Year Scheduled Or Projected Service Life:	2014
Capital Recommendation:	Replacement
Capital Budget:	\$23000
Maintenance Recommendation:	Preventative Maintenance
Maintenance Budget:	\$400

Roof Survey Data

**Menomonee Falls, School District of
Shady Lane Elementary School (118)
Roof Area Number: 03**

General Information

Survey Date: 06/17/13
Next Survey Date: 06/01/14
Roof Size (square feet): 16501
Roof Height (feet): 14
Roof Perimeter (lin feet): 675
Roof Traffic: Light
Leak Reported: No
Construction Access: Direct
Interior Affect On Roof: Yes

Historical Information

Roof Installation Date: 2004
System Warranted: Yes
Warranty Issue Date: 08/10/04 **Warr. Expire Date:** 08/10/14
Installation Contractor: MM Schranz Roofing, Inc.
Warranty Holder: Johns-Manville Corporation
Warranty Number: FNB121030356

Roof Construction

Description: Precast concrete roof deck - 1" perlite insulation - 2-ply temp -
1.6" isocyanurate insulation - tapered isocyanurate insulation -
1/2' fiberboard insulation - 4-ply asphalt built-up roof with gravel
surface
Num. Of Roof Systems: One **Insulation Layers:** Four
Total Insul. Thickness: 8.6" avg **Total R-Value:** 51.42 avg

Rooftop Projections/Equipment

Description: Two square curbs - one pipe vent (stack) - eight soil stacks
HVAC Units: None Present
Pitch Pans: None Present

Roof System Conditions

Deck:	Unknown	Insulation:	Unknown
Membrane:	Requires Preventative Maintenance	Base Flashing:	Good Condition
Membrane Tie-In:	None Present		
Counter Flashing:	None Present		
Metal Edge:	None Present		
Cap Flashing:	Good Condition		
Coping:	Good Condition		
Gutter Edge:	None Present		
Expansion Joint:	Good Condition		
Wall Exp. Joint:	None Present		
Wall Surfaces:			
Require Attention:	None Present		
Recommendation:	N/A		
Condition Comments:	Debris on roof surface and around drains.		

Water Removal

Roof Slope:	1/8 inch/foot	Slope Method:	Tapered Insulation
Drainage Method:	Three drains	Drainage:	Good
Add Drains/Number:	No	Add Taper:	No

Testing Recommended

Structural Analysis:	No	Dew Point Analysis:	No
Infrared Survey:	No	Asbestos Sampling:	No
ACRM Results:	N/A		

General Comments

None.

Conclusions

Year Scheduled Or Projected Service Life:	15-19
Capital Recommendation:	No Work Required
Capital Budget:	\$0
Maintenance Recommendation:	Preventative Maintenance
Maintenance Budget:	\$100

Roof Survey Data

**Menomonee Falls, School District of
Shady Lane Elementary School (118)
Roof Area Number: 04**

General Information

Survey Date: 06/17/13
Next Survey Date: 06/01/14
Roof Size (square feet): 8439
Roof Height (feet): 14
Roof Perimeter (lin feet): 402
Roof Traffic: Light
Leak Reported: No
Construction Access: Direct
Interior Affect On Roof: No

Historical Information

Roof Installation Date: 08/01/00
System Warranted: No
Warranty Issue Date: 08/11/00 **Warr. Expire Date:** 08/11/10
Installation Contractor: Roberts Roofing & Siding, Inc.
Warranty Holder: GAF Building Materials Corporation
Warranty Number: CPGL10-3010

Roof Construction

Description: Precast concrete roof deck - 2" polyisocyanurate insulation - 1/2" fiberboard insulation - 4-ply asphalt built-up roof with gravel surface - no core taken
Num. Of Roof Systems: One **Insulation Layers:** Two
Total Insul. Thickness: 2½" **Total R-Value:** 14.73

Rooftop Projections/Equipment

Description: One square curb - four soil stacks
HVAC Units: None Present
Pitch Pans: None Present

Roof System Conditions

Deck:	Unknown	Insulation:	Unknown
Membrane:	Good Condition	Base Flashing:	Good Condition
Membrane Tie-In:	None Present		
Counter Flashing:	Good Condition		
Metal Edge:	None Present		
Cap Flashing:	Good Condition		
Coping:	Good Condition		
Gutter Edge:	None Present		
Expansion Joint:	Good Condition		
Wall Exp. Joint:	None Present		
Wall Surfaces:			
Require Attention:	No		
Recommendation:	N/A		
Condition Comments:	Minor blistering of membrane near perimeters.		

Water Removal

Roof Slope:	Dead level	Slope Method:	N/A
Drainage Method:	Two drains	Drainage:	Fair
Add Drains/Number:	No	Add Taper:	Yes

Testing Recommended

Structural Analysis:	No	Dew Point Analysis:	No
Infrared Survey:	No	Asbestos Sampling:	No
ACRM Results:	N/A		

General Comments

Roof system is in good condition.

Conclusions

Year Scheduled Or Projected Service Life:	10-14
Capital Recommendation:	No Work Required
Capital Budget:	\$0
Maintenance Recommendation:	No Work Required
Maintenance Budget:	\$0

Roof Survey Data

**Menomonee Falls, School District of
Shady Lane Elementary School (118)
Roof Area Number: 05**

General Information

Survey Date: 06/17/13
Next Survey Date: 06/01/14
Roof Size (square feet): 3413
Roof Height (feet): 14
Roof Perimeter (lin feet): 260
Roof Traffic: Light
Leak Reported: No
Construction Access: Direct
Interior Affect On Roof: No

Historical Information

Roof Installation Date: 1998
System Warranted: No
Warranty Issue Date: 08/05/98 **Warr. Expire Date:** 08/05/08
Installation Contractor: J.T. Roofing, Inc.
Warranty Holder: GAF Building Materials Corporation
Warranty Number: CPGC10-2496

Roof Construction

Description: Precast concrete deck - 2-ply vapor retarder - 2"
polyisocyanurate insulation - 1/8" (per lineal foot) tapered
polyisocyanurate insulation - 1/2" fiberboard insulation - asphalt
built-up roof with gravel surface - no core taken
Num. Of Roof Systems: One **Insulation Layers:** Three
Total Insul. Thickness: 5.9" avg **Total R-Value:** 37.24 avg

Rooftop Projections/Equipment

Description: Two soil stacks - two curbs
HVAC Units: None Present
Pitch Pans: None Present

Roof System Conditions

Deck:	Unknown	Insulation:	Unknown
Membrane:	Good Condition	Base Flashing:	Good Condition
Membrane Tie-In:	None Present		
Counter Flashing:	Requires Remedial Maintenance		
Metal Edge:	None Present		
Cap Flashing:	Good Condition		
Coping:	Good Condition		
Gutter Edge:	None Present		
Expansion Joint:	Good Condition		
Wall Exp. Joint:	None Present		
Wall Surfaces:			
Require Attention:	No		
Recommendation:	N/A		
Condition Comments:	Counter flashing has fallen away from reciever; needs to be refastened.		

Water Removal

Roof Slope:	1/8 inch/foot	Slope Method:	Tapered Insulation
Drainage Method:	Two drains	Drainage:	Fair
Add Drains/Number:	No	Add Taper:	No

Testing Recommended

Structural Analysis:	No	Dew Point Analysis:	No
Infrared Survey:	No	Asbestos Sampling:	No
ACRM Results:	N/A		

General Comments

None.

Conclusions

Year Scheduled Or Projected Service Life:	10-14
Capital Recommendation:	No Work Required
Capital Budget:	\$0
Maintenance Recommendation:	Preventative Maintenance
Maintenance Budget:	\$200

Roof Survey Data

**Menomonee Falls, School District of
Shady Lane Elementary School (118)
Roof Area Number: 06**

General Information

Survey Date: 06/17/13
Next Survey Date: 06/01/14
Roof Size (square feet): 6990
Roof Height (feet): 14
Roof Perimeter (lin feet): 353
Roof Traffic: Light
Leak Reported: No
Construction Access: Direct
Interior Affect On Roof: No

Historical Information

Roof Installation Date: 1998
System Warranted: No
Warranty Issue Date: 08/05/98 **Warr. Expire Date:** 08/05/08
Installation Contractor: J.T. Roofing, Inc.
Warranty Holder: GAF Building Materials Corporation
Warranty Number: CPGC10-2496

Roof Construction

Description: Precast concrete deck - 2-ply vapor retarder - 2"
polyisocyanurate insulation - 1/8" (per lineal foot) tapered
polyisocyanurate insulation - 1/2" fiberboard insulation - asphalt
built-up roof with gravel surface - no core taken
Num. Of Roof Systems: One **Insulation Layers:** Three
Total Insul. Thickness: 5.2" avg **Total R-Value:** 32.97 avg

Rooftop Projections/Equipment

Description: Four soil stacks
HVAC Units: Two
Pitch Pans: Two

Roof System Conditions

Deck:	Good Condition	Insulation:	Unknown
Membrane:	Requires Preventative Maintenance	Base Flashing:	Good Condition
Membrane Tie-In:	None Present		
Counter Flashing:	Good Condition		
Metal Edge:	None Present		
Cap Flashing:	Good Condition		
Coping:	Good Condition		
Gutter Edge:	None Present		
Expansion Joint:	Good Condition		
Wall Exp. Joint:	None Present		
Wall Surfaces:			
Require Attention:	No		
Recommendation:	N/A		
Condition Comments:	Debris on roof surface and around drains. Lack of slip flashing and aluminized relective coating at newer HVAC units.		

Water Removal

Roof Slope:	1/8 inch/foot	Slope Method:	Tapered Insulation
Drainage Method:	Two drains	Drainage:	Good
Add Drains/Number:	No	Add Taper:	No

Testing Recommended

Structural Analysis:	No	Dew Point Analysis:	No
Infrared Survey:	No	Asbestos Sampling:	No
ACRM Results:	N/A		

General Comments

Roof system is in good condition, but requires minor preventative maintenance.

Conclusions

Year Scheduled Or Projected Service Life:	10-14
Capital Recommendation:	No Work Required
Capital Budget:	\$0
Maintenance Recommendation:	Preventative Maintenance
Maintenance Budget:	\$600

Roof Survey Data

**Menomonee Falls, School District of
Shady Lane Elementary School (118)
Roof Area Number: 07**

General Information

Survey Date: 06/17/13
Next Survey Date: 06/01/14
Roof Size (square feet): 9135
Roof Height (feet): 12
Roof Perimeter (lin feet): 425
Roof Traffic: Light
Leak Reported: No
Construction Access: Direct
Interior Affect On Roof: No

Historical Information

Roof Installation Date: 1998
System Warranted: No
Warranty Issue Date: 08/05/98 **Warr. Expire Date:** 08/05/08
Installation Contractor: J.T. Roofing, Inc.
Warranty Holder: GAF Building Materials Corporation
Warranty Number: CPGC10-2496

Roof Construction

Description: Precast concrete deck - 2-ply vapor retarder - 2"
polyisocyanurate insulation - 1/8" (per lineal foot) tapered
polyisocyanurate insulation - 1/2" fiberboard insulation - asphalt
built-up roof with gravel surface
Num. Of Roof Systems: One **Insulation Layers:** Three
Total Insul. Thickness: 5.3" avg **Total R-Value:** 33.49 avg

Rooftop Projections/Equipment

Description: Six soil stacks - two square curbs - one chimney - three pipe
vents - one roof scuttle
HVAC Units: None Present
Pitch Pans: None Present

Roof System Conditions

Deck:	Unknown	Insulation:	Unknown
Membrane:	Requires Preventative Maintenance	Base Flashing:	Good Condition
Membrane Tie-In:	None Present		
Counter Flashing:	Requires Preventative Maintenance		
Metal Edge:	None Present		
Cap Flashing:	Good Condition		
Coping:	Good Condition		
Gutter Edge:	None Present		
Expansion Joint:	Good Condition		
Wall Exp. Joint:	None Present		
Wall Surfaces:			
Require Attention:	None Present		
Recommendation:	N/A		
Condition Comments:	Debris on roof surface and at drains. Failed sealant at counterflashing around chimney.		

Water Removal

Roof Slope:	1/8 inch/foot	Slope Method:	Tapered Insulation
Drainage Method:	Three drains	Drainage:	Good
Add Drains/Number:	No	Add Taper:	No

Testing Recommended

Structural Analysis:	No	Dew Point Analysis:	No
Infrared Survey:	No	Asbestos Sampling:	No
ACRM Results:	N/A		

General Comments

None.

Conclusions

Year Scheduled Or Projected Service Life:	10-14
Capital Recommendation:	No Work Required
Capital Budget:	\$0
Maintenance Recommendation:	Preventative Maintenance
Maintenance Budget:	\$200

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Roof Survey - Select Site
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Roof Survey Data

**Menomonee Falls, School District of
Valley View Elementary School (341)
Roof Area Number: 01**

General Information

Survey Date: 06/13/13
Next Survey Date: 06/01/14
Roof Size (square feet): 15152
Roof Height (feet): 30
Roof Perimeter (lin feet): 564
Roof Traffic: Light
Leak Reported: No
Construction Access: Direct
Interior Affect On Roof: No

Historical Information

Roof Installation Date: 1990
System Warranted: No
Warranty Issue Date: 08/17/90 **Warr. Expire Date:** 08/17/00
Installation Contractor: West Bend Roofing
Warranty Holder: Tarmac Roofing Systems
Warranty Number: Unknown

Roof Construction

Description: Precast concrete deck - tapered polyisocyanurate insulation - 1/2" fiberboard insulation -2-ply & SBS modified bitumen roof membrane, gravel surface
Num. Of Roof Systems: One **Insulation Layers:** Two
Total Insul. Thickness: 3.8" avg **Total R-Value:** 23.48 avg

Rooftop Projections/Equipment

Description: Two square curbs - ten soil stacks - one roof hatch - one chimney - one pipe portal
HVAC Units: One A.C. unit on 4x4s
Pitch Pans: One, requires refilling

Roof System Conditions

Deck:	Unknown	Insulation:	Unknown
Membrane:	Requires Preventative Maintenance	Base Flashing:	Requires Preventative Maintenance
Membrane Tie-In:	None Present		
Counter Flashing:	Requires Preventative Maintenance		
Metal Edge:	None Present		
Cap Flashing:	Good Condition		
Coping:	None Present		
Gutter Edge:	None Present		
Expansion Joint:	None Present		
Wall Exp. Joint:	None Present		
Wall Surfaces:			
Require Attention:	No		
Recommendation:	N/A		
Condition Comments:	Failed sealant at counterflashing at chimney and at corners of cap flashing. Open corner flashing at roof hatch. Pitch pan requires refilling. Damaged curb cover. Several blisters in membrane and perimeter flashings.		

Water Removal

Roof Slope:	1/8 inch/foot	Slope Method:	Tapered Insulation
Drainage Method:	Four drains	Drainage:	Good
Add Drains/Number:	No	Add Taper:	No

Testing Recommended

Structural Analysis:	No	Dew Point Analysis:	No
Infrared Survey:	No	Asbestos Sampling:	No
ACRM Results:	N/A		

General Comments

Three windblown corners. Debris on roof.

Conclusions

Year Scheduled Or Projected Service Life:	2016
Capital Recommendation:	Replacement
Capital Budget:	\$150000
Maintenance Recommendation:	Preventative Maintenance
Maintenance Budget:	\$1100

Roof Survey Data

**Menomonee Falls, School District of
Valley View Elementary School (341)
Roof Area Number: 02**

General Information

Survey Date: 06/13/13
Next Survey Date: 06/01/14
Roof Size (square feet): 173
Roof Height (feet): 35
Roof Perimeter (lin feet): 54
Roof Traffic: None
Leak Reported: No
Construction Access: Indirect
Interior Affect On Roof: No

Historical Information

Roof Installation Date: 1995
System Warranted: No
Warranty Issue Date: 11/30/95 **Warr. Expire Date:** 11/30/05
Installation Contractor: Performance Roofing Systems, Inc.
Warranty Holder: Carlisle SynTec Systems
Warranty Number: AB#950935C

Roof Construction

Description: Precast concrete deck - polyisocyanurate insulation - .045 EPDM
single-ply roof membrane - stone ballast - no core taken
Num. Of Roof Systems: One **Insulation Layers:** Unknown
Total Insul. Thickness: Unknown **Total R-Value:** Unknown

Rooftop Projections/Equipment

Description: One pipe vent (stack)
HVAC Units: None Present
Pitch Pans: None Present

Roof System Conditions

Deck:	Unknown	Insulation:	Unknown
Membrane:	Good Condition	Base Flashing:	Good Condition
Membrane Tie-In:	None Present		
Counter Flashing:	None Present		
Metal Edge:	None Present		
Cap Flashing:	None Present		
Coping:	Good Condition		
Gutter Edge:	None Present		
Expansion Joint:	None Present		
Wall Exp. Joint:	Good Condition		
Wall Surfaces:			
Require Attention:	None Present		
Recommendation:	N/A		
Condition Comments:	Roof is in good condition. Failed sealant at batten plate.		

Water Removal

Roof Slope:	Dead level	Slope Method:	N/A
Drainage Method:	One drain	Drainage:	Good
Add Drains/Number:	No	Add Taper:	No

Testing Recommended

Structural Analysis:	No	Dew Point Analysis:	No
Infrared Survey:	No	Asbestos Sampling:	No
ACRM Results:	N/A		

General Comments

None

Conclusions

Year Scheduled Or Projected Service Life:	2015
Capital Recommendation:	Replacement
Capital Budget:	\$3000
Maintenance Recommendation:	No Work Required
Maintenance Budget:	\$0

Roof Survey Data

**Menomonee Falls, School District of
Valley View Elementary School (341)
Roof Area Number: 03**

General Information

Survey Date: 06/13/13
Next Survey Date: 06/01/14
Roof Size (square feet): 199
Roof Height (feet): 22
Roof Perimeter (lin feet): 59
Roof Traffic: None
Leak Reported: No
Construction Access: Direct
Interior Affect On Roof: No

Historical Information

Roof Installation Date: 1995
System Warranted: No
Warranty Issue Date: 11/30/95 **Warr. Expire Date:** 11/30/05
Installation Contractor: Performance Roofing Systems, Inc.
Warranty Holder: Carlisle SynTec Systems
Warranty Number: AB#950935C

Roof Construction

Description: Precast concrete deck - polyisocyanurate insulation - .045 EPDM
single-ply roof membrane - stone ballast - no core taken
Num. Of Roof Systems: One **Insulation Layers:** Unknown
Total Insul. Thickness: Unknown **Total R-Value:** Unknown

Rooftop Projections/Equipment

Description: One square curb
HVAC Units: None Present
Pitch Pans: None Present

Roof System Conditions

Deck:	Unknown	Insulation:	Unknown
Membrane:	Good Condition	Base Flashing:	Good Condition
Membrane Tie-In:	None Present		
Counter Flashing:	Good Condition		
Metal Edge:	None Present		
Cap Flashing:	None Present		
Coping:	Good Condition		
Gutter Edge:	None Present		
Expansion Joint:	None Present		
Wall Exp. Joint:	Requires Preventative Maintenance		
Wall Surfaces:			
Require Attention:	Yes		
Recommendation:	Reseal control joints.		
Condition Comments:	There are two holes in the expansion joint and the sealant in the control joint has failed.		

Water Removal

Roof Slope:	Dead level	Slope Method:	N/A
Drainage Method:	One drain	Drainage:	Fair
Add Drains/Number:	No	Add Taper:	Yes

Testing Recommended

Structural Analysis:	No	Dew Point Analysis:	No
Infrared Survey:	No	Asbestos Sampling:	No
ACRM Results:	N/A		

General Comments

None

Conclusions

Year Scheduled Or Projected Service Life:	2015
Capital Recommendation:	Replacement
Capital Budget:	\$4000
Maintenance Recommendation:	Repairs Only
Maintenance Budget:	\$400

Roof Survey Data

**Menomonee Falls, School District of
Valley View Elementary School (341)
Roof Area Number: 04**

General Information

Survey Date: 06/13/13
Next Survey Date: 06/01/14
Roof Size (square feet): 268
Roof Height (feet): 12
Roof Perimeter (lin feet): 72
Roof Traffic: None
Leak Reported: No
Construction Access: Direct
Interior Affect On Roof: No

Historical Information

Roof Installation Date: 1995
System Warranted: No
Warranty Issue Date: 11/30/95 **Warr. Expire Date:** 11/30/05
Installation Contractor: Performance Roofing Systems, Inc.
Warranty Holder: Carlisle SynTec Systems
Warranty Number: AB#950935C

Roof Construction

Description: Precast concrete deck - polyisocyanurate insulation - .045 EPDM
single-ply roof membrane - stone ballast - no core taken
Num. Of Roof Systems: One **Insulation Layers:** Unknown
Total Insul. Thickness: Unknown **Total R-Value:** Unknown

Rooftop Projections/Equipment

Description: None
HVAC Units: None Present
Pitch Pans: None Present

Roof System Conditions

Deck:	Unknown	Insulation:	Unknown
Membrane:	Good Condition	Base Flashing:	Good Condition
Membrane Tie-In:	None Present		
Counter Flashing:	None Present		
Metal Edge:	Good Condition		
Cap Flashing:	None Present		
Coping:	Good Condition		
Gutter Edge:	None Present		
Expansion Joint:	None Present		
Wall Exp. Joint:	Good Condition		
Wall Surfaces:			
Require Attention:	Yes		
Recommendation:	Replace sealant in control joints (bottom 5 feet).		
Condition Comments:	The sealant has failed in the two control joints and the drain head is broken. Debris on roof surface.		

Water Removal

Roof Slope:	Dead level	Slope Method:	N/A
Drainage Method:	One drain	Drainage:	Fair
Add Drains/Number:	No	Add Taper:	Yes

Testing Recommended

Structural Analysis:	No	Dew Point Analysis:	No
Infrared Survey:	No	Asbestos Sampling:	No
ACRM Results:	N/A		

General Comments

None

Conclusions

Year Scheduled Or Projected Service Life:	2015
Capital Recommendation:	Replacement
Capital Budget:	\$5000
Maintenance Recommendation:	Repairs Only
Maintenance Budget:	\$600

Roof Survey Data

**Menomonee Falls, School District of
Valley View Elementary School (341)
Roof Area Number: 05**

General Information

Survey Date: 06/13/13
Next Survey Date: 06/01/14
Roof Size (square feet): 4652
Roof Height (feet): 20
Roof Perimeter (lin feet): 278
Roof Traffic: Light
Leak Reported: Yes
Construction Access: Direct
Interior Affect On Roof: No

Historical Information

Roof Installation Date: 1995
System Warranted: No
Warranty Issue Date: 11/30/95 **Warr. Expire Date:** 11/30/05
Installation Contractor: Performance Roofing Systems, Inc.
Warranty Holder: Carlisle SynTec Systems
Warranty Number: AB#950935C

Roof Construction

Description: Precast concrete deck - polyisocyanurate insulation - .045 EPDM
ballasted single-ply roof membrane - stone ballast - no core taken
Num. Of Roof Systems: One **Insulation Layers:** Unknown
Total Insul. Thickness: Unknown **Total R-Value:** Unknown

Rooftop Projections/Equipment

Description: Two square curbs
HVAC Units: None Present
Pitch Pans: None Present

Roof System Conditions

Deck:	Unknown	Insulation:	Unknown
Membrane:	Requires Preventative Maintenance	Base Flashing:	Good Condition
Membrane Tie-In:	None Present		
Counter Flashing:	Good Condition		
Metal Edge:	None Present		
Cap Flashing:	None Present		
Coping:	Good Condition		
Gutter Edge:	None Present		
Expansion Joint:	None Present		
Wall Exp. Joint:	Good Condition		
Wall Surfaces:			
Require Attention:	No		
Recommendation:	N/A		
Condition Comments:	Base flashings tenting along west parapet walls. Debris on roof surface open lap seams at overflow scuppers.		

Water Removal

Roof Slope:	1/4 inch/foot	Slope Method:	Structural
Drainage Method:	2 drains, 2 overflow scuppers	Drainage:	Good
Add Drains/Number:	No	Add Taper:	No

Testing Recommended

Structural Analysis:	No	Dew Point Analysis:	No
Infrared Survey:	No	Asbestos Sampling:	No
ACRM Results:	N/A		

General Comments

None

Conclusions

Year Scheduled Or Projected Service Life:	2015
Capital Recommendation:	Replacement
Capital Budget:	\$30000
Maintenance Recommendation:	Preventative Maintenance
Maintenance Budget:	\$200

Roof Survey Data

**Menomonee Falls, School District of
Valley View Elementary School (341)
Roof Area Number: 06**

General Information

Survey Date: 06/13/13
Next Survey Date: 06/01/14
Roof Size (square feet): 1665
Roof Height (feet): 16
Roof Perimeter (lin feet): 206
Roof Traffic: Light
Leak Reported: Yes
Construction Access: Direct
Interior Affect On Roof: No

Historical Information

Roof Installation Date: 1995
System Warranted: No
Warranty Issue Date: 11/30/95 **Warr. Expire Date:** 11/30/05
Installation Contractor: Performance Roofing Systems, Inc.
Warranty Holder: Carlisle SynTec Systems
Warranty Number: AB#950935C

Roof Construction

Description: Precast concrete deck - polyisocyanurate insulation - .045 EPDM
single-ply roof membrane - stone ballast - no core taken
Num. Of Roof Systems: One **Insulation Layers:** Unknown
Total Insul. Thickness: Unknown **Total R-Value:** Unknown

Rooftop Projections/Equipment

Description: One soil stack
HVAC Units: None Present
Pitch Pans: None Present

Roof System Conditions

Deck:	Unknown	Insulation:	Unknown
Membrane:	Good Condition	Base Flashing:	Good Condition
Membrane Tie-In:	None Present		
Counter Flashing:	Requires Preventative Maintenance		
Metal Edge:	None Present		
Cap Flashing:	None Present		
Coping:	Good Condition		
Gutter Edge:	None Present		
Expansion Joint:	None Present		
Wall Exp. Joint:	None Present		
Wall Surfaces:			
Require Attention:	Yes		
Recommendation:	Some of the joints in the brick have cracked.		
Condition Comments:	The sealant has failed on the surface mounted counter flashing. Debris on roof surface. Open lap seams at scuppers		

Water Removal

Roof Slope:	1/2 inch/foot	Slope Method:	Structural
Drainage Method:	3 drains, 3 overflow scuppers	Drainage:	Good
Add Drains/Number:	No	Add Taper:	No

Testing Recommended

Structural Analysis:	No	Dew Point Analysis:	No
Infrared Survey:	No	Asbestos Sampling:	No
ACRM Results:	N/A		

General Comments

Leaking along south wall where water infiltration points were found.

Conclusions

Year Scheduled Or Projected Service Life:	2015
Capital Recommendation:	Replacement
Capital Budget:	\$16000
Maintenance Recommendation:	Repairs Only
Maintenance Budget:	\$1000

Return to:
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Roof Survey - Select Roof Area



Roof Survey Data

**Menomonee Falls, School District of
North Junior High School (343)
Roof Area Number: 01a**

General Information

Survey Date: 06/15/13
Next Survey Date: 03/01/15
Roof Size (square feet): 900
Roof Height (feet): 30
Roof Perimeter (lin feet): 460
Roof Traffic: Light
Leak Reported: No
Construction Access: Direct
Interior Affect On Roof: No

Historical Information

Roof Installation Date: 2001
System Warranted: No
Warranty Issue Date: 08/28/01 **Warr. Expire Date:** 08/28/11
Installation Contractor: Roberts Roofing & Siding, Inc.
Warranty Holder: Honeywell International, Inc.
Warranty Number: M0410000029

Roof Construction

Description: Precast concrete deck - 2 courses 1.5" polyisocyanurate
insulation - 1/2" fiberboard insulation - coal tar pitch built-up
roof membrane with gravel surface
Num. Of Roof Systems: One **Insulation Layers:** Three
Total Insul. Thickness: 3.5" **Total R-Value:** 21.4

Rooftop Projections/Equipment

Description: Two soil stacks
HVAC Units: None
Pitch Pans: None

Roof System Conditions

Deck:	Unknown	Insulation:	Unknown
Membrane:	Good Condition	Base Flashing:	Good Condition
Membrane Tie-In:	Good Condition		
Counter Flashing:	Good Condition		
Metal Edge:	None Present		
Cap Flashing:	Good Condition		
Coping:	None Present		
Gutter Edge:	None Present		
Expansion Joint:	None Present		
Wall Exp. Joint:	None Present		
Wall Surfaces:			
Require Attention:	No		
Recommendation:	N/A		
Condition Comments:	Minor blistering in a few areas. Debris on roof surface.		

Water Removal

Roof Slope:	1/16 inch/foot	Slope Method:	Structural
Drainage Method:	Two scuppers	Drainage:	Fair
Add Drains/Number:	No	Add Taper:	No

Testing Recommended

Structural Analysis:	No	Dew Point Analysis:	No
Infrared Survey:	No	Asbestos Sampling:	No
ACRM Results:	N/A		

General Comments

The roof membrane, flashings and perimeters are generally in good condition.

Conclusions

Year Scheduled Or Projected Service Life:	10-14
Capital Recommendation:	No Work Required
Capital Budget:	\$0
Maintenance Recommendation:	No Work Required
Maintenance Budget:	\$0

Roof Survey Data

**Menomonee Falls, School District of
North Junior High School (343)
Roof Area Number: 01b**

General Information

Survey Date: 06/15/13
Next Survey Date: 03/01/15
Roof Size (square feet): 2450
Roof Height (feet): 30
Roof Perimeter (lin feet): 630
Roof Traffic: Light
Leak Reported: No
Construction Access: Direct
Interior Affect On Roof: No

Historical Information

Roof Installation Date: 2001
System Warranted: No
Warranty Issue Date: 08/01/01 **Warr. Expire Date:** 08/01/11
Installation Contractor: Roberts Roofing & Siding, Inc.
Warranty Holder: CertainTeed Commercial Roofing
Warranty Number: FV11042C02

Roof Construction

Description: Precast concrete deck - 1" polyisocyanurate insulation - 1/2" fiberboard insulation - 2-ply base sheet - SBS modified bitumen roof membrane
Num. Of Roof Systems: One **Insulation Layers:** Two
Total Insul. Thickness: 1.5" **Total R-Value:** 8.06

Rooftop Projections/Equipment

Description: None Present
HVAC Units: None Present
Pitch Pans: None Present

Roof System Conditions

Deck:	Unknown	Insulation:	Unknown
Membrane:	Good Condition	Base Flashing:	Good Condition
Membrane Tie-In:	Good Condition		
Counter Flashing:	Good Condition		
Metal Edge:	None Present		
Cap Flashing:	Good Condition		
Coping:	None Present		
Gutter Edge:	None Present		
Expansion Joint:	None Present		
Wall Exp. Joint:	None Present		
Wall Surfaces:			
Require Attention:	None Present		
Recommendation:	N/A		
Condition Comments:	Minor blistering noted in two valleys, do not appear to be water filled.		

Water Removal

Roof Slope:	12 inches/foot	Slope Method:	Structural
Drainage Method:	Five scuppers	Drainage:	Fair
Add Drains/Number:	No	Add Taper:	No

Testing Recommended

Structural Analysis:	No	Dew Point Analysis:	No
Infrared Survey:	No	Asbestos Sampling:	No
ACRM Results:	N/A		

General Comments

None.

Conclusions

Year Scheduled Or Projected Service Life:	6-9
Capital Recommendation:	No Work Required
Capital Budget:	\$0
Maintenance Recommendation:	Preventative Maintenance
Maintenance Budget:	\$950

Roof Survey Data

**Menomonee Falls, School District of
North Junior High School (343)
Roof Area Number: 01c**

General Information

Survey Date: 06/15/13
Next Survey Date: 03/01/15
Roof Size (square feet): 130
Roof Height (feet): 30
Roof Perimeter (lin feet): 110
Roof Traffic: Light
Leak Reported: No
Construction Access: Direct
Interior Affect On Roof: No

Historical Information

Roof Installation Date: 2001
System Warranted: No
Warranty Issue Date: 08/28/01 **Warr. Expire Date:** 08/28/11
Installation Contractor: Roberts Roofing & Siding, Inc.
Warranty Holder: Honeywell International, Inc.
Warranty Number: M0410000029

Roof Construction

Description: Precast concrete deck - 1" polyisocyanurate insulation - 1/2" fiberboard insulation - coal tar pitch built-up roof with gravel surface
Num. Of Roof Systems: One **Insulation Layers:** Two
Total Insul. Thickness: 1.5" **Total R-Value:** 8.06

Rooftop Projections/Equipment

Description: None
HVAC Units: None
Pitch Pans: None

Roof System Conditions

Deck:	Unknown	Insulation:	Unknown
Membrane:	Good Condition	Base Flashing:	Good Condition
Membrane Tie-In:	Good Condition		
Counter Flashing:	Good Condition		
Metal Edge:	None Present		
Cap Flashing:	Good Condition		
Coping:	None Present		
Gutter Edge:	None Present		
Expansion Joint:	None Present		
Wall Exp. Joint:	None Present		
Wall Surfaces:			
Require Attention:	None Present		
Recommendation:	N/A		
Condition Comments:	Minor blistering at transitions to Roof Area 1B. Evidence of ponding water.		

Water Removal

Roof Slope:	Dead level	Slope Method:	Structural
Drainage Method:	5 scuppers	Drainage:	Poor
Add Drains/Number:	No	Add Taper:	Yes

Testing Recommended

Structural Analysis:	No	Dew Point Analysis:	No
Infrared Survey:	No	Asbestos Sampling:	No
ACRM Results:	N/A		

General Comments

None.

Conclusions

Year Scheduled Or Projected Service Life:	10-14
Capital Recommendation:	No Work Required
Capital Budget:	\$0
Maintenance Recommendation:	No Work Required
Maintenance Budget:	\$0

Roof Survey Data

**Menomonee Falls, School District of
North Junior High School (343)
Roof Area Number: 02**

General Information

Survey Date: 06/15/13
Next Survey Date: 03/01/15
Roof Size (square feet): 9850
Roof Height (feet): 34
Roof Perimeter (lin feet): 420
Roof Traffic: Light
Leak Reported: No
Construction Access: Direct
Interior Affect On Roof: No

Historical Information

Roof Installation Date: 2001
System Warranted: No
Warranty Issue Date: 08/28/01 **Warr. Expire Date:** 08/28/11
Installation Contractor: Roberts Roofing & Siding, Inc.
Warranty Holder: Honeywell International, Inc.
Warranty Number: M0410000029

Roof Construction

Description: Precast concrete deck - 1" polyisocyanurate insulation - 1.5" polyisocyanurate insulation - 1/2" fiberboard insulation - coal tar pitch built-up roof with gravel surface
Num. Of Roof Systems: One **Insulation Layers:** Two
Total Insul. Thickness: 3" **Total R-Value:** 18.07

Rooftop Projections/Equipment

Description: One square curb - three soil stacks
HVAC Units: None
Pitch Pans: None

Roof System Conditions

Deck:	Unknown	Insulation:	Unknown
Membrane:	Good Condition	Base Flashing:	Good Condition
Membrane Tie-In:	None Present		
Counter Flashing:	Good Condition		
Metal Edge:	None Present		
Cap Flashing:	Good Condition		
Coping:	Good Condition		
Gutter Edge:	None Present		
Expansion Joint:	None Present		
Wall Exp. Joint:	None Present		
Wall Surfaces:			
Require Attention:	Yes		
Recommendation:	Seal around wall louver, spalled mortar joints.		
Condition Comments:	Some areas of failed sealant at perimeter sheet metal terminations. Failed sealant around wall louver. Curbed exhaust hood is not secured to curb.		

Water Removal

Roof Slope:	Dead level	Slope Method:	Structural
Drainage Method:	Four drains	Drainage:	Fair
Add Drains/Number:	No	Add Taper:	No

Testing Recommended

Structural Analysis:	No	Dew Point Analysis:	No
Infrared Survey:	No	Asbestos Sampling:	No
ACRM Results:	N/A		

General Comments

Roof system is in good condition but does require some preventative maintenance to ensure it achieves its design service life. Debris around drain.

Conclusions

Year Scheduled Or Projected Service Life:	10-14
Capital Recommendation:	No Work Required
Capital Budget:	\$0
Maintenance Recommendation:	Preventative Maintenance
Maintenance Budget:	\$300

Roof Survey Data

**Menomonee Falls, School District of
North Junior High School (343)
Roof Area Number: 03**

General Information

Survey Date: 06/15/13
Next Survey Date: 03/01/15
Roof Size (square feet): 2650
Roof Height (feet): 15
Roof Perimeter (lin feet): 230
Roof Traffic: None
Leak Reported: No
Construction Access: Direct
Interior Affect On Roof: No

Historical Information

Roof Installation Date: 1996
System Warranted: No
Warranty Issue Date: **Warr. Expire Date:**
Installation Contractor: Langer Roofing & Sheet Metal, Inc.
Warranty Holder: Koppers Industries, Inc.
Warranty Number: Unknown

Roof Construction

Description: Precast concrete deck - 1.5" polyisocyanurate insulation - 1/2" fiberboard insulation - coal tar pitch built-up roof with gravel surface
Num. Of Roof Systems: One **Insulation Layers:** Two
Total Insul. Thickness: 2" **Total R-Value:** 11.4

Rooftop Projections/Equipment

Description: One square curb - one small pipe
HVAC Units: None
Pitch Pans: One, refill

Roof System Conditions

Deck:	Unknown	Insulation:	Unknown
Membrane:	Good Condition	Base Flashing:	Good Condition
Membrane Tie-In:	None Present		
Counter Flashing:	Good Condition		
Metal Edge:	None Present		
Cap Flashing:	Good Condition		
Coping:	None Present		
Gutter Edge:	None Present		
Expansion Joint:	None Present		
Wall Exp. Joint:	None Present		
Wall Surfaces:			
Require Attention:	Yes		
Recommendation:	Reseal control joints and tuckpoint spalled mortar joints.		
Condition Comments:	There is organic debris around the drains. Minor blistering of membrane. Pitch pan needs to be refilled. Soil stack filled with stone. Crushed vent hood.		

Water Removal

Roof Slope:	Dead level	Slope Method:	Structural
Drainage Method:	Two drains	Drainage:	Fair
Add Drains/Number:	No	Add Taper:	No

Testing Recommended

Structural Analysis:	No	Dew Point Analysis:	No
Infrared Survey:	No	Asbestos Sampling:	No
ACRM Results:	N/A		

General Comments

In fair condition but will require some preventative maintenance to ensure it performs throughout the duration of its design service life.

Conclusions

Year Scheduled Or Projected Service Life:	6-9
Capital Recommendation:	No Work Required
Capital Budget:	\$0
Maintenance Recommendation:	Preventative Maintenance
Maintenance Budget:	\$1800

Roof Survey Data

**Menomonee Falls, School District of
North Junior High School (343)
Roof Area Number: 04a**

General Information

Survey Date: 06/15/13
Next Survey Date: 03/01/15
Roof Size (square feet): 2000
Roof Height (feet): 30
Roof Perimeter (lin feet): 190
Roof Traffic: Light
Leak Reported: No
Construction Access: Direct
Interior Affect On Roof: No

Historical Information

Roof Installation Date: 1996
System Warranted: No
Warranty Issue Date: **Warr. Expire Date:**
Installation Contractor: Langer Roofing & Sheet Metal, Inc.
Warranty Holder: Koppers Industries, Inc.
Warranty Number: Unknown

Roof Construction

Description: Precast concrete deck - 2.5" polyisocyanurate insulation - 1/2" fiberboard insulation - coal tar pitch built-up roof with gravel surface
Num. Of Roof Systems: One **Insulation Layers:** Two
Total Insul. Thickness: 3" **Total R-Value:** 18.07

Rooftop Projections/Equipment

Description: Three square curbs - one soil stack
HVAC Units: None
Pitch Pans: None

Roof System Conditions

Deck:	Unknown	Insulation:	Unknown
Membrane:	Good Condition	Base Flashing:	Good Condition
Membrane Tie-In:	None Present		
Counter Flashing:	Good Condition		
Metal Edge:	None Present		
Cap Flashing:	Good Condition		
Coping:	Good Condition		
Gutter Edge:	None Present		
Expansion Joint:	Good Condition		
Wall Exp. Joint:	None Present		
Wall Surfaces:			
Require Attention:	Yes		
Recommendation:	Kasota stone stills are spalling.		
Condition Comments:	The drain bonnet is broken and the large exhaust vent is damaged. Failed sealant along counterflashing. One open lap in base flashing.		

Water Removal

Roof Slope:	Dead level	Slope Method:	Structural
Drainage Method:	One drain	Drainage:	Fair
Add Drains/Number:	No	Add Taper:	No

Testing Recommended

Structural Analysis:	No	Dew Point Analysis:	No
Infrared Survey:	No	Asbestos Sampling:	No
ACRM Results:	N/A		

General Comments

Some minor preventative maintenance required to facilitate its proper performance through the duration of its design service life

Conclusions

Year Scheduled Or Projected Service Life:	6-9
Capital Recommendation:	No Work Required
Capital Budget:	\$0
Maintenance Recommendation:	Preventative Maintenance
Maintenance Budget:	\$1600

Roof Survey Data

**Menomonee Falls, School District of
North Junior High School (343)
Roof Area Number: 04b**

General Information

Survey Date: 06/15/13
Next Survey Date: 03/01/15
Roof Size (square feet): 610
Roof Height (feet): 30
Roof Perimeter (lin feet): 150
Roof Traffic: Light
Leak Reported: No
Construction Access: Direct
Interior Affect On Roof: No

Historical Information

Roof Installation Date: 1996
System Warranted: No
Warranty Issue Date: **Warr. Expire Date:**
Installation Contractor: Langer Roofing & Sheet Metal, Inc.
Warranty Holder: Koppers Industries, Inc.
Warranty Number: Unknown

Roof Construction

Description: Precast concrete deck - 2.5" polyisocyanurate insulation - 1/2" fiberboard insulation - coal tar pitch built-up roof with gravel surface
Num. Of Roof Systems: One **Insulation Layers:** Two
Total Insul. Thickness: 3" **Total R-Value:** 18.07

Rooftop Projections/Equipment

Description: Two square curbs - one soil stack
HVAC Units: None
Pitch Pans: None

Roof System Conditions

Deck:	Unknown	Insulation:	Unknown
Membrane:	Good Condition	Base Flashing:	Good Condition
Membrane Tie-In:	None Present		
Counter Flashing:	Good Condition		
Metal Edge:	None Present		
Cap Flashing:	Good Condition		
Coping:	None Present		
Gutter Edge:	None Present		
Expansion Joint:	Good Condition		
Wall Exp. Joint:	None Present		
Wall Surfaces:			
Require Attention:	Yes		
Recommendation:	Tuckpoint spalled mortar joints and replace sealant.		
Condition Comments:	Spalled kasota stone sills. There is debris on the roof. One location where the SBS modified finish flashing has delaminated. The sealant has failed around the ladder anchor points and at some areas of counterflashing.		

Water Removal

Roof Slope:	Dead level	Slope Method:	Structural
Drainage Method:	One drain	Drainage:	Fair
Add Drains/Number:	No	Add Taper:	No

Testing Recommended

Structural Analysis:	No	Dew Point Analysis:	No
Infrared Survey:	No	Asbestos Sampling:	No
ACRM Results:	N/A		

General Comments

Coping poorly terminated. Exhaust hood not secured to curb. There are some mortar joints that are spalling in the southwest corner.

Conclusions

Year Scheduled Or Projected Service Life:	6-9
Capital Recommendation:	No Work Required
Capital Budget:	\$0
Maintenance Recommendation:	Preventative Maintenance
Maintenance Budget:	\$800

Roof Survey Data

**Menomonee Falls, School District of
North Junior High School (343)
Roof Area Number: 04c**

General Information

Survey Date: 06/15/13
Next Survey Date: 03/01/15
Roof Size (square feet): 320
Roof Height (feet): 30
Roof Perimeter (lin feet): 90
Roof Traffic: None
Leak Reported: No
Construction Access: Multiple Lifts
Interior Affect On Roof: No

Historical Information

Roof Installation Date: 1996
System Warranted: No
Warranty Issue Date: **Warr. Expire Date:**
Installation Contractor: Unknown
Warranty Holder: Unknown
Warranty Number: Unknown

Roof Construction

Description: Precast concrete deck - 2.5" polyisocyanurate insulation, mopped
- 1/2" fiberboard insulation, mopped - coal tar pitch built-up roof
with gravel surface
Num. Of Roof Systems: One **Insulation Layers:** Two
Total Insul. Thickness: 3" **Total R-Value:** 18.07

Rooftop Projections/Equipment

Description: One soil stack - one roof hatch
HVAC Units: None Present
Pitch Pans: None Present

Roof System Conditions

Deck:	Unknown	Insulation:	Unknown
Membrane:	Good Condition	Base Flashing:	Good Condition
Membrane Tie-In:	None Present		
Counter Flashing:	None Present		
Metal Edge:	None Present		
Cap Flashing:	None Present		
Coping:	Good Condition		
Gutter Edge:	None Present		
Expansion Joint:	Good Condition		
Wall Exp. Joint:	None Present		
Wall Surfaces:			
Require Attention:	No		
Recommendation:	N/A		
Condition Comments:	The drain bonnet is broken. There is some failed sealant along the perimeter sheet metal. Surface rusting of roof hatch.		

Water Removal

Roof Slope:	1/8 inch/foot	Slope Method:	Structural
Drainage Method:	One drain	Drainage:	Good
Add Drains/Number:	No	Add Taper:	No

Testing Recommended

Structural Analysis:	No	Dew Point Analysis:	No
Infrared Survey:	No	Asbestos Sampling:	No
ACRM Results:	N/A		

General Comments

Requires some preventative maintenance to facilitate its proper performance through the duration of its design service life

Conclusions

Year Scheduled Or Projected Service Life:	6-9
Capital Recommendation:	No Work Required
Capital Budget:	\$0
Maintenance Recommendation:	Preventative Maintenance
Maintenance Budget:	\$300

Roof Survey Data

**Menomonee Falls, School District of
North Junior High School (343)
Roof Area Number: 05**

General Information

Survey Date: 06/15/13
Next Survey Date: 03/01/15
Roof Size (square feet): 340
Roof Height (feet): 15
Roof Perimeter (lin feet): 80
Roof Traffic: None
Leak Reported: No
Construction Access: Direct
Interior Affect On Roof: No

Historical Information

Roof Installation Date: 1996
System Warranted: No
Warranty Issue Date: **Warr. Expire Date:**
Installation Contractor: Langer Roofing & Sheet Metal, Inc.
Warranty Holder: Koppers Industries, Inc.
Warranty Number: Unknown

Roof Construction

Description: Precast concrete deck - 2.5" polyisocyanurate insulation - 1/2" fiberboard insulation - coal tar pitch built-up roof with gravel surface
Num. Of Roof Systems: One **Insulation Layers:** Two
Total Insul. Thickness: 3" **Total R-Value:** 18

Rooftop Projections/Equipment

Description: None Present
HVAC Units: None Present
Pitch Pans: None Present

Roof System Conditions

Deck:	Unknown	Insulation:	Unknown
Membrane:	Good Condition	Base Flashing:	Good Condition
Membrane Tie-In:	None Present		
Counter Flashing:	Good Condition		
Metal Edge:	None Present		
Cap Flashing:	Good Condition		
Coping:	None Present		
Gutter Edge:	None Present		
Expansion Joint:	None Present		
Wall Exp. Joint:	None Present		
Wall Surfaces:			
Require Attention:	No		
Recommendation:	N/A		
Condition Comments:	Debris on roof and in scupper. Evidence of ponding water.		

Water Removal

Roof Slope:	Dead level	Slope Method:	Structural
Drainage Method:	One scupper	Drainage:	Poor
Add Drains/Number:	No	Add Taper:	No

Testing Recommended

Structural Analysis:	No	Dew Point Analysis:	No
Infrared Survey:	No	Asbestos Sampling:	No
ACRM Results:	N/A		

General Comments

Some preventative maintenance required to facilitate its proper performance through the duration of its design service life.

Conclusions

Year Scheduled Or Projected Service Life:	6-9
Capital Recommendation:	No Work Required
Capital Budget:	\$0
Maintenance Recommendation:	No Work Required
Maintenance Budget:	\$0

Roof Survey Data

**Menomonee Falls, School District of
North Junior High School (343)
Roof Area Number: 06**

General Information

Survey Date: 06/15/13
Next Survey Date: 03/01/15
Roof Size (square feet): 800
Roof Height (feet): 27
Roof Perimeter (lin feet): 150
Roof Traffic: None
Leak Reported: No
Construction Access: Direct
Interior Affect On Roof: No

Historical Information

Roof Installation Date: 2001
System Warranted: No
Warranty Issue Date: 08/28/01 **Warr. Expire Date:** 08/28/11
Installation Contractor: Roberts Roofing & Siding, Inc.
Warranty Holder: Honeywell International, Inc.
Warranty Number: M0410000029

Roof Construction

Description: Wood plank deck - 2 courses 1.5" polyisocyanurate insulation -
1/2" fiberboard insulation - coal tar pitch built-up roof with
gravel surface
Num. Of Roof Systems: One **Insulation Layers:** Three
Total Insul. Thickness: 3.5" **Total R-Value:** 21.4

Rooftop Projections/Equipment

Description: One square curb
HVAC Units: None Present
Pitch Pans: None Present

Roof System Conditions

Deck:	Unknown	Insulation:	Unknown
Membrane:	Good Condition	Base Flashing:	Good Condition
Membrane Tie-In:	None Present		
Counter Flashing:	Good Condition		
Metal Edge:	None Present		
Cap Flashing:	Good Condition		
Coping:	None Present		
Gutter Edge:	None Present		
Expansion Joint:	None Present		
Wall Exp. Joint:	None Present		
Wall Surfaces:			
Require Attention:	Yes		
Recommendation:	Kasota stone requires rehabilitation.		
Condition Comments:	The brick is spalled in one location. Debris around roof drain.		

Water Removal

Roof Slope:	Dead level	Slope Method:	Structural
Drainage Method:	One drain	Drainage:	Fair
Add Drains/Number:	No	Add Taper:	No

Testing Recommended

Structural Analysis:	No	Dew Point Analysis:	No
Infrared Survey:	No	Asbestos Sampling:	No
ACRM Results:	N/A		

General Comments

The roof system and its components are generally in good condition.

Conclusions

Year Scheduled Or Projected Service Life:	10-14
Capital Recommendation:	No Work Required
Capital Budget:	\$0
Maintenance Recommendation:	No Work Required
Maintenance Budget:	\$0

Roof Survey Data

**Menomonee Falls, School District of
North Junior High School (343)
Roof Area Number: 07**

General Information

Survey Date: 06/15/13
Next Survey Date: 03/01/15
Roof Size (square feet): 3920
Roof Height (feet): 30
Roof Perimeter (lin feet): 300
Roof Traffic: Light
Leak Reported: No
Construction Access: Direct
Interior Affect On Roof: No

Historical Information

Roof Installation Date: 2001
System Warranted: No
Warranty Issue Date: 08/28/01 **Warr. Expire Date:** 08/28/11
Installation Contractor: Roberts Roofing & Siding, Inc.
Warranty Holder: Honeywell International, Inc.
Warranty Number: M0410000029

Roof Construction

Description: Precast concrete deck - 2 courses 1.5" polyisocyanurate
insulation - 1/2" fiberboard insulation - coal tar pitch built-up
roof with gravel surface
Num. Of Roof Systems: One **Insulation Layers:** Three
Total Insul. Thickness: 3.5" **Total R-Value:** 21.4

Rooftop Projections/Equipment

Description: None Present
HVAC Units: None Present
Pitch Pans: None Present

Roof System Conditions

Deck:	Unknown	Insulation:	Unknown
Membrane:	Requires Preventative Maintenance	Base Flashing:	Good Condition
Membrane Tie-In:	None Present		
Counter Flashing:	Good Condition		
Metal Edge:	None Present		
Cap Flashing:	Requires Preventative Maintenance		
Coping:	None Present		
Gutter Edge:	None Present		
Expansion Joint:	None Present		
Wall Exp. Joint:	None Present		
Wall Surfaces:			
Require Attention:	Yes		
Recommendation:	Replace sealant in control joints and around louvers.		
Condition Comments:	There is construction debris on the roof. Failed sealant along perimeter sheet metal.		

Water Removal

Roof Slope:	Dead level	Slope Method:	Structural
Drainage Method:	Two drains	Drainage:	Fair
Add Drains/Number:	No	Add Taper:	No

Testing Recommended

Structural Analysis:	No	Dew Point Analysis:	No
Infrared Survey:	No	Asbestos Sampling:	No
ACRM Results:	N/A		

General Comments

None.

Conclusions

Year Scheduled Or Projected Service Life:	10-14
Capital Recommendation:	No Work Required
Capital Budget:	\$0
Maintenance Recommendation:	Preventative Maintenance
Maintenance Budget:	\$600

Roof Survey Data

**Menomonee Falls, School District of
North Junior High School (343)
Roof Area Number: 08**

General Information

Survey Date: 06/15/13
Next Survey Date: 03/01/15
Roof Size (square feet): 16730
Roof Height (feet): 38
Roof Perimeter (lin feet): 520
Roof Traffic: Light
Leak Reported: No
Construction Access: Direct
Interior Affect On Roof: No

Historical Information

Roof Installation Date: 2001
System Warranted: No
Warranty Issue Date: 08/01/01 **Warr. Expire Date:** 08/01/11
Installation Contractor: Roberts Roofing & Siding, Inc.
Warranty Holder: CertainTeed Commercial Roofing
Warranty Number: FV10516C01

Roof Construction

Description: Precast concrete deck - 2 courses of 1.5" polyisocyanurate
insulation - 1/2" fiberboard insulation - asphalt built-up roof with
a gravel surface
Num. Of Roof Systems: One **Insulation Layers:** Three
Total Insul. Thickness: 3.5" **Total R-Value:** 21.4

Rooftop Projections/Equipment

Description: Three square curbs - two soil stacks - one chimney
HVAC Units: None
Pitch Pans: None

Roof System Conditions

Deck:	Unknown	Insulation:	Unknown
Membrane:	Good Condition	Base Flashing:	Good Condition
Membrane Tie-In:	None Present		
Counter Flashing:	Good Condition		
Metal Edge:	None Present		
Cap Flashing:	Good Condition		
Coping:	None Present		
Gutter Edge:	None Present		
Expansion Joint:	None Present		
Wall Exp. Joint:	None Present		
Wall Surfaces:			
Require Attention:	Yes		
Recommendation:	Chimney and cap require tuckpointing.		
Condition Comments:	There are two drain bonnets that do not fit properly. Wind erosion in several locations. Several damaged vent hoods.		

Water Removal

Roof Slope:	1/16 inch/foot	Slope Method:	Structural
Drainage Method:	Four drains	Drainage:	Fair
Add Drains/Number:	No	Add Taper:	No

Testing Recommended

Structural Analysis:	No	Dew Point Analysis:	No
Infrared Survey:	No	Asbestos Sampling:	No
ACRM Results:	N/A		

General Comments

None

Conclusions

Year Scheduled Or Projected Service Life:	10-14
Capital Recommendation:	No Work Required
Capital Budget:	\$0
Maintenance Recommendation:	No Work Required
Maintenance Budget:	\$0

Roof Survey Data

**Menomonee Falls, School District of
North Junior High School (343)
Roof Area Number: 09**

General Information

Survey Date: 06/15/13
Next Survey Date: 03/01/15
Roof Size (square feet): 130
Roof Height (feet): 10
Roof Perimeter (lin feet): 50
Roof Traffic: None
Leak Reported: No
Construction Access: Direct
Interior Affect On Roof: No

Historical Information

Roof Installation Date: 2001
System Warranted: No
Warranty Issue Date: 08/28/01 **Warr. Expire Date:** 08/28/11
Installation Contractor: Roberts Roofing & Siding, Inc.
Warranty Holder: Honeywell International, Inc.
Warranty Number: M0410000029

Roof Construction

Description: Steel deck - 2" polyisocyanurate insulation - 1/2" fiberboard
insulation - coal tar pitch built-up roof with gravel surface
Num. Of Roof Systems: One **Insulation Layers:** Two
Total Insul. Thickness: 2.5" **Total R-Value:** 14.73

Rooftop Projections/Equipment

Description: None
HVAC Units: None
Pitch Pans: None

Roof System Conditions

Deck:	Unknown	Insulation:	Unknown
Membrane:	Good Condition	Base Flashing:	Good Condition
Membrane Tie-In:	None Present		
Counter Flashing:	Good Condition		
Metal Edge:	None Present		
Cap Flashing:	Good Condition		
Coping:	None Present		
Gutter Edge:	None Present		
Expansion Joint:	None Present		
Wall Exp. Joint:	None Present		
Wall Surfaces:			
Require Attention:	No		
Recommendation:	N/A		
Condition Comments:	Debris on roof surface. Minor blistering at louvers.		

Water Removal

Roof Slope:	Dead level	Slope Method:	Structural
Drainage Method:	Gutters	Drainage:	Fair
Add Drains/Number:	No	Add Taper:	No

Testing Recommended

Structural Analysis:	No	Dew Point Analysis:	No
Infrared Survey:	No	Asbestos Sampling:	No
ACRM Results:	N/A		

General Comments

None.

Conclusions

Year Scheduled Or Projected Service Life:	10-14
Capital Recommendation:	No Work Required
Capital Budget:	\$0
Maintenance Recommendation:	No Work Required
Maintenance Budget:	\$0

Roof Survey Data

**Menomonee Falls, School District of
North Junior High School (343)
Roof Area Number: 10**

General Information

Survey Date: 06/15/13
Next Survey Date: 03/01/15
Roof Size (square feet): 1270
Roof Height (feet): 38
Roof Perimeter (lin feet): 150
Roof Traffic: None
Leak Reported: No
Construction Access: Direct
Interior Affect On Roof: No

Historical Information

Roof Installation Date: 2001
System Warranted: No
Warranty Issue Date: 08/28/01 **Warr. Expire Date:** 08/28/11
Installation Contractor: Roberts Roofing & Siding, Inc.
Warranty Holder: Honeywell International, Inc.
Warranty Number: M0410000029

Roof Construction

Description: Steel deck - 2 course 1.5" polyisocyanurate insulation - 1/2" fiberboard insulation - coal tar pitch built-up roof with gravel surface
Num. Of Roof Systems: One **Insulation Layers:** Three
Total Insul. Thickness: 3.5" **Total R-Value:** 21.4

Rooftop Projections/Equipment

Description: Two soil stacks
HVAC Units: None
Pitch Pans: None

Roof System Conditions

Deck:	Unknown	Insulation:	Unknown
Membrane:	Good Condition	Base Flashing:	Good Condition
Membrane Tie-In:	None Present		
Counter Flashing:	None Present		
Metal Edge:	None Present		
Cap Flashing:	Good Condition		
Coping:	Good Condition		
Gutter Edge:	None Present		
Expansion Joint:	None Present		
Wall Exp. Joint:	None Present		
Wall Surfaces:			
Require Attention:	None Present		
Recommendation:	N/A		
Condition Comments:	Minor ponding water.		

Water Removal

Roof Slope:	Dead level	Slope Method:	Structural
Drainage Method:	One drain	Drainage:	Fair
Add Drains/Number:	No	Add Taper:	No

Testing Recommended

Structural Analysis:	No	Dew Point Analysis:	No
Infrared Survey:	No	Asbestos Sampling:	No
ACRM Results:	N/A		

General Comments

None

Conclusions

Year Scheduled Or Projected Service Life:	10-14
Capital Recommendation:	No Work Required
Capital Budget:	\$0
Maintenance Recommendation:	No Work Required
Maintenance Budget:	\$0

Roof Survey Data

**Menomonee Falls, School District of
North Junior High School (343)
Roof Area Number: 11**

General Information

Survey Date: 06/15/13
Next Survey Date: 03/01/15
Roof Size (square feet): 5670
Roof Height (feet): 35
Roof Perimeter (lin feet): 370
Roof Traffic: Light
Leak Reported: No
Construction Access: Direct
Interior Affect On Roof: No

Historical Information

Roof Installation Date: 1996
System Warranted: No
Warranty Issue Date: **Warr. Expire Date:**
Installation Contractor: Langer Roofing & Sheet Metal, Inc.
Warranty Holder: Koppers Industries, Inc.
Warranty Number: Unknown

Roof Construction

Description: Precast concrete deck - 1.5" polyisocyanurate insulation - 1/2" fiberboard insulation - coal tar pitch built-up roof with gravel surface
Num. Of Roof Systems: One **Insulation Layers:** Two
Total Insul. Thickness: 2" **Total R-Value:** 11.4

Rooftop Projections/Equipment

Description: Seven square curbs - one A.C. condensor - two pipe vents (stacks)
HVAC Units: None
Pitch Pans: One - refill

Roof System Conditions

Deck:	Unknown	Insulation:	Unknown
Membrane:	Good Condition	Base Flashing:	Good Condition
Membrane Tie-In:	None Present		
Counter Flashing:	Good Condition		
Metal Edge:	None Present		
Cap Flashing:	None Present		
Coping:	Good Condition		
Gutter Edge:	None Present		
Expansion Joint:	Good Condition		
Wall Exp. Joint:	None Present		
Wall Surfaces:			
Require Attention:	No		
Recommendation:	N/A		
Condition Comments:	Minor blistering of base flashing and membrane.		

Water Removal

Roof Slope:	Dead level	Slope Method:	Structural
Drainage Method:	Two drains	Drainage:	Fair
Add Drains/Number:	No	Add Taper:	No

Testing Recommended

Structural Analysis:	No	Dew Point Analysis:	No
Infrared Survey:	No	Asbestos Sampling:	No
ACRM Results:	N/A		

General Comments

None.

Conclusions

Year Scheduled Or Projected Service Life:	6-9
Capital Recommendation:	No Work Required
Capital Budget:	\$0
Maintenance Recommendation:	No Work Required
Maintenance Budget:	\$0

Roof Survey Data

**Menomonee Falls, School District of
North Junior High School (343)
Roof Area Number: 12**

General Information

Survey Date: 06/15/13
Next Survey Date: 03/01/15
Roof Size (square feet): 260
Roof Height (feet): 30
Roof Perimeter (lin feet): 70
Roof Traffic: None
Leak Reported: No
Construction Access: Direct
Interior Affect On Roof: No

Historical Information

Roof Installation Date: 2001
System Warranted: No
Warranty Issue Date: 08/28/01 **Warr. Expire Date:** 08/28/11
Installation Contractor: Roberts Roofing & Siding, Inc.
Warranty Holder: Honeywell International, Inc.
Warranty Number: M0410000029

Roof Construction

Description: Steel deck - 2 courses 1.5" polyisocyanurate insulation - 1/2" fiberboard insulation - coal tar pitch built-up roof with gravel surface
Num. Of Roof Systems: One **Insulation Layers:** Three
Total Insul. Thickness: 3.5" **Total R-Value:** 21.4

Rooftop Projections/Equipment

Description: None
HVAC Units: None
Pitch Pans: None

Roof System Conditions

Deck:	Unknown	Insulation:	Unknown
Membrane:	Good Condition	Base Flashing:	Good Condition
Membrane Tie-In:	None Present		
Counter Flashing:	Good Condition		
Metal Edge:	None Present		
Cap Flashing:	None Present		
Coping:	Good Condition		
Gutter Edge:	None Present		
Expansion Joint:	None Present		
Wall Exp. Joint:	None Present		
Wall Surfaces:			
Require Attention:	No		
Recommendation:	N/A		
Condition Comments:	None.		

Water Removal

Roof Slope:	Dead level	Slope Method:	Structural
Drainage Method:	One drain	Drainage:	Fair
Add Drains/Number:	No	Add Taper:	No

Testing Recommended

Structural Analysis:	No	Dew Point Analysis:	No
Infrared Survey:	No	Asbestos Sampling:	No
ACRM Results:	N/A		

General Comments

None.

Conclusions

Year Scheduled Or Projected Service Life:	10-14
Capital Recommendation:	No Work Required
Capital Budget:	\$0
Maintenance Recommendation:	No Work Required
Maintenance Budget:	\$0

Roof Survey Data

**Menomonee Falls, School District of
North Junior High School (343)
Roof Area Number: 13**

General Information

Survey Date: 06/15/13
Next Survey Date: 03/01/15
Roof Size (square feet): 270
Roof Height (feet): 10
Roof Perimeter (lin feet): 100
Roof Traffic: None
Leak Reported: No
Construction Access: Direct
Interior Affect On Roof: No

Historical Information

Roof Installation Date: 2001
System Warranted: No
Warranty Issue Date: 08/28/01 **Warr. Expire Date:** 08/28/11
Installation Contractor: Roberts Roofing & Siding, Inc.
Warranty Holder: Honeywell International, Inc.
Warranty Number: M0410000029

Roof Construction

Description: Steel deck - 5/8" fiberglass-faced gypsum board - 1"
polyisocyanurate insulation - 1/2" fiberboard insulation - coal tar
pitch built-up roof with a gravel surface
Num. Of Roof Systems: One **Insulation Layers:** Two
Total Insul. Thickness: 1.5" **Total R-Value:** 8.06

Rooftop Projections/Equipment

Description: None
HVAC Units: None
Pitch Pans: None

Roof System Conditions

Deck:	Good Condition	Insulation:	Unknown
Membrane:	Good Condition	Base Flashing:	Good Condition
Membrane Tie-In:	None Present		
Counter Flashing:	Good Condition		
Metal Edge:	Good Condition		
Cap Flashing:	None Present		
Coping:	None Present		
Gutter Edge:	Good Condition		
Expansion Joint:	None Present		
Wall Exp. Joint:	None Present		
Wall Surfaces:			
Require Attention:	Yes		
Recommendation:	Repair failed sealant in control joints, restore kasota stone.		
Condition Comments:	The finish flashing has a hole in it in one location and it is delaminating along the drip edge. The sealant has failed above the counterflashing in the control joint in the southwest corner.		

Water Removal

Roof Slope:	Dead level	Slope Method:	Structural
Drainage Method:	Gutters	Drainage:	Fair
Add Drains/Number:	No	Add Taper:	No

Testing Recommended

Structural Analysis:	No	Dew Point Analysis:	No
Infrared Survey:	No	Asbestos Sampling:	No
ACRM Results:	N/A		

General Comments

Minor surface rusting on underside of roof deck. Minor blisters in base flashing. Debris on roof and in gutter. Roof requires some minor preventative maintenance to facilitate its proper performance through the duration of its design service life

Conclusions

Year Scheduled Or Projected Service Life:	10-14
Capital Recommendation:	No Work Required
Capital Budget:	\$0
Maintenance Recommendation:	Preventative Maintenance
Maintenance Budget:	\$550

Roof Survey Data

**Menomonee Falls, School District of
North Junior High School (343)
Roof Area Number: 14**

General Information

Survey Date: 06/15/13
Next Survey Date: 03/01/15
Roof Size (square feet): 170
Roof Height (feet): 10
Roof Perimeter (lin feet): 50
Roof Traffic: None
Leak Reported: No
Construction Access: Direct
Interior Affect On Roof: No

Historical Information

Roof Installation Date: 2001
System Warranted: No
Warranty Issue Date: 08/28/01 **Warr. Expire Date:** 08/28/11
Installation Contractor: Roberts Roofing & Siding, Inc.
Warranty Holder: Honeywell International, Inc.
Warranty Number: M0410000029

Roof Construction

Description: Steel deck - 5/8" fiberglass-faced gypsum board - 1"
polyisocyanurate insulation - 1/2" fiberboard insulation - coal tar
pitch built-up roof with gravel surface
Num. Of Roof Systems: One **Insulation Layers:** Two
Total Insul. Thickness: 1.5 **Total R-Value:** 8.06

Rooftop Projections/Equipment

Description: None
HVAC Units: None
Pitch Pans: None

Roof System Conditions

Deck:	Good Condition	Insulation:	Unknown
Membrane:	Good Condition	Base Flashing:	Good Condition
Membrane Tie-In:	None Present		
Counter Flashing:	Good Condition		
Metal Edge:	Good Condition		
Cap Flashing:	None Present		
Coping:	None Present		
Gutter Edge:	Good Condition		
Expansion Joint:	None Present		
Wall Exp. Joint:	None Present		
Wall Surfaces:			
Require Attention:	No		
Recommendation:	N/A		
Condition Comments:	None.		

Water Removal

Roof Slope:	Dead level	Slope Method:	Structural
Drainage Method:	Gutters	Drainage:	Fair
Add Drains/Number:	No	Add Taper:	No

Testing Recommended

Structural Analysis:	No	Dew Point Analysis:	No
Infrared Survey:	No	Asbestos Sampling:	No
ACRM Results:	N/A		

General Comments

None.

Conclusions

Year Scheduled Or Projected Service Life:	10-14
Capital Recommendation:	No Work Required
Capital Budget:	\$0
Maintenance Recommendation:	No Work Required
Maintenance Budget:	\$0

Roof Survey Data

**Menomonee Falls, School District of
North Junior High School (343)
Roof Area Number: 15**

General Information

Survey Date: 06/15/13
Next Survey Date: 03/01/15
Roof Size (square feet): 6970
Roof Height (feet): 24
Roof Perimeter (lin feet): 360
Roof Traffic: Light
Leak Reported: No
Construction Access: Direct
Interior Affect On Roof: No

Historical Information

Roof Installation Date: 1997
System Warranted: No
Warranty Issue Date: 10/27/97 **Warr. Expire Date:** 10/27/07
Installation Contractor: Carlson Racine Roofing, Inc.
Warranty Holder: GAF Building Materials Corporation
Warranty Number: CPGL10-2278

Roof Construction

Description: Precast concrete deck - 4" polyisocyanurate insulation - 1/2" fiberboard insulation - tapered polyisocyanurate saddles - asphalt built-up roof with gravel surface
Num. Of Roof Systems: One **Insulation Layers:** Two
Total Insul. Thickness: 4.5" **Total R-Value:** 28.07

Rooftop Projections/Equipment

Description: Three square curbs - two soil stacks - one chimney
HVAC Units: None
Pitch Pans: One

Roof System Conditions

Deck:	Unknown	Insulation:	Unknown
Membrane:	Requires Preventative Maintenance	Base Flashing:	Requires Preventative Maintenance
Membrane Tie-In:	None Present		
Counter Flashing:	Good Condition		
Metal Edge:	None Present		
Cap Flashing:	Good Condition		
Coping:	None Present		
Gutter Edge:	None Present		
Expansion Joint:	Good Condition		
Wall Exp. Joint:	None Present		
Wall Surfaces:			
Require Attention:	Yes		
Recommendation:	Seal joints in lap at chimney.		
Condition Comments:	Wind erosion in northwest corner. Minor blistering in base flashing around two curbs., ridging at roof drains/strip flashings.		

Water Removal

Roof Slope:	1/8 inch/foot	Slope Method:	Structural
Drainage Method:	Two drains	Drainage:	Good
Add Drains/Number:	No	Add Taper:	No

Testing Recommended

Structural Analysis:	No	Dew Point Analysis:	No
Infrared Survey:	No	Asbestos Sampling:	No
ACRM Results:	N/A		

General Comments

Roof requires some minor preventative maintenance to facilitate its proper performance through the duration of its design service life

Conclusions

Year Scheduled Or Projected Service Life:	6-9
Capital Recommendation:	No Work Required
Capital Budget:	\$0
Maintenance Recommendation:	Preventative Maintenance
Maintenance Budget:	\$700

Roof Survey Data

**Menomonee Falls, School District of
North Junior High School (343)
Roof Area Number: 16**

General Information

Survey Date: 06/15/13
Next Survey Date: 03/01/15
Roof Size (square feet): 5430
Roof Height (feet): 24
Roof Perimeter (lin feet): 300
Roof Traffic: Light
Leak Reported: No
Construction Access: Direct
Interior Affect On Roof: No

Historical Information

Roof Installation Date: 1997
System Warranted: No
Warranty Issue Date: 10/27/97 **Warr. Expire Date:** 10/27/07
Installation Contractor: Carlson Racine Roofing, Inc.
Warranty Holder: GAF Building Materials Corporation
Warranty Number: CPGL10-2278

Roof Construction

Description: Precast concrete deck - tapered polyisocyanurate insulation - 1/2" fiberboard insulation - tapered polyisocyanurate saddles - asphalt built-up roof with gravel surface
Num. Of Roof Systems: One **Insulation Layers:** Two
Total Insul. Thickness: 3.9" avg **Total R-Value:** 24.01 avg

Rooftop Projections/Equipment

Description: Five square curbs - three soil stacks - one chimney - one small pipe
HVAC Units: None
Pitch Pans: Four

Roof System Conditions

Deck:	Unknown	Insulation:	Unknown
Membrane:	Good Condition	Base Flashing:	Good Condition
Membrane Tie-In:	None Present		
Counter Flashing:	Good Condition		
Metal Edge:	None Present		
Cap Flashing:	Good Condition		
Coping:	None Present		
Gutter Edge:	None Present		
Expansion Joint:	Good Condition		
Wall Exp. Joint:	None Present		
Wall Surfaces:			
Require Attention:	Yes		
Recommendation:	Tuckpoint chimney.		
Condition Comments:	Debris on roof. Deteriorated pipe boots at pipe portal. Refill pitch pockets.		

Water Removal

Roof Slope:	1/8 inch/foot	Slope Method:	Tapered Insulation
Drainage Method:	2 drains, 2 scuppers	Drainage:	Fair
Add Drains/Number:	No	Add Taper:	No

Testing Recommended

Structural Analysis:	No	Dew Point Analysis:	No
Infrared Survey:	No	Asbestos Sampling:	No
ACRM Results:	N/A		

General Comments

Roof requires some minor preventative maintenance to facilitate its proper performance through the duration of its design service life

Conclusions

Year Scheduled Or Projected Service Life:	10-14
Capital Recommendation:	No Work Required
Capital Budget:	\$0
Maintenance Recommendation:	Preventative Maintenance
Maintenance Budget:	\$600

Roof Survey Data

**Menomonee Falls, School District of
North Junior High School (343)
Roof Area Number: 17**

General Information

Survey Date: 06/15/13
Next Survey Date: 03/01/15
Roof Size (square feet): 70
Roof Height (feet): 10
Roof Perimeter (lin feet): 40
Roof Traffic: None
Leak Reported: No
Construction Access: Direct
Interior Affect On Roof: No

Historical Information

Roof Installation Date: 2001
System Warranted: No
Warranty Issue Date: 08/28/01 **Warr. Expire Date:** 08/28/11
Installation Contractor: Roberts Roofing & Siding, Inc.
Warranty Holder: Honeywell International, Inc.
Warranty Number: M0410000029

Roof Construction

Description: Steel deck - 5/8" fiberglass-faced gypsum board - 1"
polyisocyanurate insulation - 1/2" fiberboard insulation - coal tar
pitch built-up roof with gravel surface
Num. Of Roof Systems: One **Insulation Layers:** Two
Total Insul. Thickness: 1.5 **Total R-Value:** 8.06

Rooftop Projections/Equipment

Description: None
HVAC Units: None
Pitch Pans: None

Roof System Conditions

Deck:	Good Condition	Insulation:	Unknown
Membrane:	Good Condition	Base Flashing:	Good Condition
Membrane Tie-In:	None Present		
Counter Flashing:	Requires Preventative Maintenance		
Metal Edge:	Good Condition		
Cap Flashing:	None Present		
Coping:	None Present		
Gutter Edge:	Good Condition		
Expansion Joint:	None Present		
Wall Exp. Joint:	None Present		
Wall Surfaces:			
Require Attention:	No		
Recommendation:	N/A		
Condition Comments:	There is some failed sealant on the counterflashing. Downspout unsecured and damaged. Debris in gutter.		

Water Removal

Roof Slope:	Dead level	Slope Method:	Structural
Drainage Method:	Gutters	Drainage:	Fair
Add Drains/Number:	No	Add Taper:	No

Testing Recommended

Structural Analysis:	No	Dew Point Analysis:	No
Infrared Survey:	No	Asbestos Sampling:	No
ACRM Results:	N/A		

General Comments

Roof requires some minor preventative maintenance to facilitate its proper performance through the duration of its design service life

Conclusions

Year Scheduled Or Projected Service Life:	10-14
Capital Recommendation:	No Work Required
Capital Budget:	\$0
Maintenance Recommendation:	Preventative Maintenance
Maintenance Budget:	\$200

Roof Survey Data

**Menomonee Falls, School District of
North Junior High School (343)
Roof Area Number: 18**

General Information

Survey Date: 06/15/13
Next Survey Date: 03/01/15
Roof Size (square feet): 5000
Roof Height (feet): 24
Roof Perimeter (lin feet): 330
Roof Traffic: Light
Leak Reported: No
Construction Access: Direct
Interior Affect On Roof: No

Historical Information

Roof Installation Date: 1997
System Warranted: No
Warranty Issue Date: 10/27/97 **Warr. Expire Date:** 10/27/07
Installation Contractor: Carlson Racine Roofing, Inc.
Warranty Holder: GAF Building Materials Corporation
Warranty Number: CPGL10-2278

Roof Construction

Description: Precast concrete deck - 2.5" polyisocyanurate insulation - 1/2" fiberboard insulation - tapered polyisocyanurate saddles - asphalt built-up roof with gravel surface
Num. Of Roof Systems: One **Insulation Layers:** Two
Total Insul. Thickness: 3" **Total R-Value:** 18.07

Rooftop Projections/Equipment

Description: Two soil stacks
HVAC Units: None
Pitch Pans: None

Roof System Conditions

Deck:	Unknown	Insulation:	Unknown
Membrane:	Requires Preventative Maintenance	Base Flashing:	Good Condition
Membrane Tie-In:	None Present		
Counter Flashing:	None Present		
Metal Edge:	None Present		
Cap Flashing:	Good Condition		
Coping:	Good Condition		
Gutter Edge:	None Present		
Expansion Joint:	Good Condition		
Wall Exp. Joint:	None Present		
Wall Surfaces:			
Require Attention:	No		
Recommendation:	N/A		
Condition Comments:	Corners have wind erosion.		

Water Removal

Roof Slope:	1/8 inch/foot	Slope Method:	Structural
Drainage Method:	Three drains	Drainage:	Good
Add Drains/Number:	No	Add Taper:	No

Testing Recommended

Structural Analysis:	No	Dew Point Analysis:	No
Infrared Survey:	No	Asbestos Sampling:	No
ACRM Results:	N/A		

General Comments

Roof requires some minor preventative maintenance to facilitate its proper performance through the duration of its design service life

Conclusions

Year Scheduled Or Projected Service Life:	6-9
Capital Recommendation:	No Work Required
Capital Budget:	\$0
Maintenance Recommendation:	Preventative Maintenance
Maintenance Budget:	\$250

Roof Survey Data

**Menomonee Falls, School District of
North Junior High School (343)
Roof Area Number: 19**

General Information

Survey Date: 06/15/13
Next Survey Date: 03/01/15
Roof Size (square feet): 290
Roof Height (feet): 24
Roof Perimeter (lin feet): 70
Roof Traffic: Light
Leak Reported: No
Construction Access: Direct
Interior Affect On Roof: No

Historical Information

Roof Installation Date: 1997
System Warranted: No
Warranty Issue Date: 10/27/97 **Warr. Expire Date:** 10/27/07
Installation Contractor: Carlson Racine Roofing, Inc.
Warranty Holder: GAF Building Materials Corporation
Warranty Number: CPGL10-2278

Roof Construction

Description: Precast concrete deck - 4" polyisocyanurate insulation - 1/2" fiberboard insulation - asphalt built-up roof with gravel surface
Num. Of Roof Systems: One **Insulation Layers:** Two
Total Insul. Thickness: 4.5" **Total R-Value:** 28.07

Rooftop Projections/Equipment

Description: One square curb
HVAC Units: None
Pitch Pans: None

Roof System Conditions

Deck:	Unknown	Insulation:	Unknown
Membrane:	Good Condition	Base Flashing:	Good Condition
Membrane Tie-In:	None Present		
Counter Flashing:	None Present		
Metal Edge:	None Present		
Cap Flashing:	Good Condition		
Coping:	Good Condition		
Gutter Edge:	None Present		
Expansion Joint:	Good Condition		
Wall Exp. Joint:	None Present		
Wall Surfaces:			
Require Attention:	None Present		
Recommendation:	N/A		
Condition Comments:	Damaged vent hood.		

Water Removal

Roof Slope:	1/8 inch/foot	Slope Method:	Structural
Drainage Method:	One drain	Drainage:	Fair
Add Drains/Number:	No	Add Taper:	No

Testing Recommended

Structural Analysis:	No	Dew Point Analysis:	No
Infrared Survey:	No	Asbestos Sampling:	No
ACRM Results:	N/A		

General Comments

None

Conclusions

Year Scheduled Or Projected Service Life:	6-9
Capital Recommendation:	No Work Required
Capital Budget:	\$0
Maintenance Recommendation:	No Work Required
Maintenance Budget:	\$0

Roof Survey Data

**Menomonee Falls, School District of
North Junior High School (343)
Roof Area Number: 20**

General Information

Survey Date: 06/15/13
Next Survey Date: 03/01/15
Roof Size (square feet): 90
Roof Height (feet): 10
Roof Perimeter (lin feet): 40
Roof Traffic: None
Leak Reported: No
Construction Access: Direct
Interior Affect On Roof: No

Historical Information

Roof Installation Date: 2001
System Warranted: No
Warranty Issue Date: 08/28/01 **Warr. Expire Date:** 08/28/11
Installation Contractor: Roberts Roofing & Siding, Inc.
Warranty Holder: Honeywell International, Inc.
Warranty Number: M0410000029

Roof Construction

Description: Steel deck - 5/8" fiberglass-faced gypsum board - 1"
polyisocyanurate insulation - 1/2" fiberboard insulation - coal tar
pitch built-up roof with gravel surface
Num. Of Roof Systems: One **Insulation Layers:** Two
Total Insul. Thickness: 1.5" **Total R-Value:** 8.06

Rooftop Projections/Equipment

Description: None
HVAC Units: None
Pitch Pans: None

Roof System Conditions

Deck:	Unknown	Insulation:	Unknown
Membrane:	Good Condition	Base Flashing:	Good Condition
Membrane Tie-In:	None Present		
Counter Flashing:	Good Condition		
Metal Edge:	None Present		
Cap Flashing:	Good Condition		
Coping:	None Present		
Gutter Edge:	None Present		
Expansion Joint:	None Present		
Wall Exp. Joint:	None Present		
Wall Surfaces:			
Require Attention:	Yes		
Recommendation:	Reseal control joints.		
Condition Comments:	There is some debris on the roof.		

Water Removal

Roof Slope:	Dead level	Slope Method:	Structural
Drainage Method:	One drain	Drainage:	Fair
Add Drains/Number:	No	Add Taper:	No

Testing Recommended

Structural Analysis:	No	Dew Point Analysis:	No
Infrared Survey:	No	Asbestos Sampling:	No
ACRM Results:	N/A		

General Comments

Roof is in fair condition.

Conclusions

Year Scheduled Or Projected Service Life:	10-14
Capital Recommendation:	No Work Required
Capital Budget:	\$0
Maintenance Recommendation:	Preventative Maintenance
Maintenance Budget:	\$100

Roof Survey Data

**Menomonee Falls, School District of
North Junior High School (343)
Roof Area Number: 21**

General Information

Survey Date: 06/15/13
Next Survey Date: 03/01/15
Roof Size (square feet): 12640
Roof Height (feet): 24
Roof Perimeter (lin feet): 450
Roof Traffic: Light
Leak Reported: No
Construction Access: Direct
Interior Affect On Roof: No

Historical Information

Roof Installation Date: 2001
System Warranted: No
Warranty Issue Date: 08/01/01 **Warr. Expire Date:** 08/01/11
Installation Contractor: Roberts Roofing & Siding, Inc.
Warranty Holder: CertainTeed Commercial Roofing
Warranty Number: FV10516C01

Roof Construction

Description: Precast concrete deck - 2 courses 1.5" polyisocyanurate insulation - 1/2" fiberboard insulation - asphalt built-up roof with gravel surface
Num. Of Roof Systems: One **Insulation Layers:** Three
Total Insul. Thickness: 3.5" **Total R-Value:** 21.4

Rooftop Projections/Equipment

Description: Sixteen square curbs - twelve soil stacks
HVAC Units: None
Pitch Pans: None

Roof System Conditions

Deck:	Unknown	Insulation:	Unknown
Membrane:	Good Condition	Base Flashing:	Good Condition
Membrane Tie-In:	None Present		
Counter Flashing:	Good Condition		
Metal Edge:	None Present		
Cap Flashing:	Good Condition		
Coping:	None Present		
Gutter Edge:	None Present		
Expansion Joint:	Good Condition		
Wall Exp. Joint:	None Present		
Wall Surfaces:			
Require Attention:	No		
Recommendation:	N/A		
Condition Comments:	None.		

Water Removal

Roof Slope:	1/8 inch/foot	Slope Method:	Structural
Drainage Method:	Four drains	Drainage:	Good
Add Drains/Number:	No	Add Taper:	No

Testing Recommended

Structural Analysis:	No	Dew Point Analysis:	No
Infrared Survey:	No	Asbestos Sampling:	No
ACRM Results:	N/A		

General Comments

Roof is in good condition.

Conclusions

Year Scheduled Or Projected Service Life:	10-14
Capital Recommendation:	No Work Required
Capital Budget:	\$0
Maintenance Recommendation:	No Work Required
Maintenance Budget:	\$0

Roof Survey Data

**Menomonee Falls, School District of
North Junior High School (343)
Roof Area Number: 22**

General Information

Survey Date: 06/15/13
Next Survey Date: 03/01/15
Roof Size (square feet): 90
Roof Height (feet): 10
Roof Perimeter (lin feet): 40
Roof Traffic: None
Leak Reported: No
Construction Access: Direct
Interior Affect On Roof: No

Historical Information

Roof Installation Date: 2001
System Warranted: No
Warranty Issue Date: 08/28/01 **Warr. Expire Date:** 08/28/11
Installation Contractor: Roberts Roofing & Siding, Inc.
Warranty Holder: Honeywell International, Inc.
Warranty Number: M0410000029

Roof Construction

Description: Steel deck - 5/8" fiberglass-faced gypsum board - 1"
polyisocyanurate insulation - 1/2" fiberboard insulation - coal tar
pitch built-up roof with gravel surface
Num. Of Roof Systems: One **Insulation Layers:** Two
Total Insul. Thickness: 1.5" **Total R-Value:** 8.06

Rooftop Projections/Equipment

Description: None
HVAC Units: None
Pitch Pans: None

Roof System Conditions

Deck:	Unknown	Insulation:	Unknown
Membrane:	Good Condition	Base Flashing:	Good Condition
Membrane Tie-In:	None Present		
Counter Flashing:	Good Condition		
Metal Edge:	None Present		
Cap Flashing:	Good Condition		
Coping:	None Present		
Gutter Edge:	None Present		
Expansion Joint:	None Present		
Wall Exp. Joint:	None Present		
Wall Surfaces:			
Require Attention:	No		
Recommendation:	N/A		
Condition Comments:	There is a lot of debris on this roof.		

Water Removal

Roof Slope:	Dead level	Slope Method:	Structural
Drainage Method:	One drain	Drainage:	Fair
Add Drains/Number:	No	Add Taper:	No

Testing Recommended

Structural Analysis:	No	Dew Point Analysis:	No
Infrared Survey:	No	Asbestos Sampling:	No
ACRM Results:	N/A		

General Comments

Roof requires some minor preventative maintenance to facilitate its proper performance through the duration of its design service life

Conclusions

Year Scheduled Or Projected Service Life:	10-14
Capital Recommendation:	No Work Required
Capital Budget:	\$0
Maintenance Recommendation:	Preventative Maintenance
Maintenance Budget:	\$400

Roof Survey Data

**Menomonee Falls, School District of
North Junior High School (343)
Roof Area Number: 23**

General Information

Survey Date: 06/15/13
Next Survey Date: 03/01/15
Roof Size (square feet): 4970
Roof Height (feet): 24
Roof Perimeter (lin feet): 300
Roof Traffic: Light
Leak Reported: No
Construction Access: Direct
Interior Affect On Roof: No

Historical Information

Roof Installation Date: 2001
System Warranted: No
Warranty Issue Date: 08/28/01 **Warr. Expire Date:** 08/28/11
Installation Contractor: Roberts Roofing & Siding, Inc.
Warranty Holder: Honeywell International, Inc.
Warranty Number: M0410000029

Roof Construction

Description: Precast concrete deck - 2 courses 1.5 polyisocyanurate insulation
- 1/2" fiberboard insulation - asphalt built-up roof with gravel
surface
Num. Of Roof Systems: One **Insulation Layers:** Three
Total Insul. Thickness: 3.5" **Total R-Value:** 21.4

Rooftop Projections/Equipment

Description: Three square curbs - four soil stacks
HVAC Units: None
Pitch Pans: None

Roof System Conditions

Deck:	Unknown	Insulation:	Unknown
Membrane:	Good Condition	Base Flashing:	Good Condition
Membrane Tie-In:	None Present		
Counter Flashing:	Good Condition		
Metal Edge:	None Present		
Cap Flashing:	Good Condition		
Coping:	None Present		
Gutter Edge:	None Present		
Expansion Joint:	Good Condition		
Wall Exp. Joint:	None Present		
Wall Surfaces:			
Require Attention:	None Present		
Recommendation:	N/A		
Condition Comments:	None.		

Water Removal

Roof Slope:	1/16 inch/foot	Slope Method:	Structural
Drainage Method:	Two drains	Drainage:	Fair
Add Drains/Number:	No	Add Taper:	No

Testing Recommended

Structural Analysis:	No	Dew Point Analysis:	No
Infrared Survey:	No	Asbestos Sampling:	No
ACRM Results:	N/A		

General Comments

Roof generally in good condition.

Conclusions

Year Scheduled Or Projected Service Life:	10-14
Capital Recommendation:	No Work Required
Capital Budget:	\$0
Maintenance Recommendation:	No Work Required
Maintenance Budget:	\$0

Roof Survey Data

**Menomonee Falls, School District of
North Junior High School (343)
Roof Area Number: 24**

General Information

Survey Date: 06/15/13
Next Survey Date: 03/01/15
Roof Size (square feet): 350
Roof Height (feet): 24
Roof Perimeter (lin feet): 80
Roof Traffic: Light
Leak Reported: No
Construction Access: Direct
Interior Affect On Roof: No

Historical Information

Roof Installation Date: 2001
System Warranted: No
Warranty Issue Date: 08/01/01 **Warr. Expire Date:** 08/01/11
Installation Contractor: Roberts Roofing & Siding, Inc.
Warranty Holder: CertainTeed Commercial Roofing
Warranty Number: FV10516C01

Roof Construction

Description: Precast concrete deck - 2 courses 1.5" polyisocyanurate
insulation - 1/2" fiberboard insulation - asphalt built-up roof with
gravel surface
Num. Of Roof Systems: One **Insulation Layers:** Three
Total Insul. Thickness: 3.5" **Total R-Value:** 21.4

Rooftop Projections/Equipment

Description: One square curb
HVAC Units: None
Pitch Pans: None

Roof System Conditions

Deck:	Unknown	Insulation:	Unknown
Membrane:	Good Condition	Base Flashing:	Good Condition
Membrane Tie-In:	None Present		
Counter Flashing:	None Present		
Metal Edge:	None Present		
Cap Flashing:	Good Condition		
Coping:	Good Condition		
Gutter Edge:	None Present		
Expansion Joint:	Good Condition		
Wall Exp. Joint:	None Present		
Wall Surfaces:			
Require Attention:	None Present		
Recommendation:	N/A		
Condition Comments:	Roof is in good condition.		

Water Removal

Roof Slope:	1/16 inch/foot	Slope Method:	Structural
Drainage Method:	One drain	Drainage:	Fair
Add Drains/Number:	No	Add Taper:	No

Testing Recommended

Structural Analysis:	No	Dew Point Analysis:	No
Infrared Survey:	No	Asbestos Sampling:	No
ACRM Results:	N/A		

General Comments

None.

Conclusions

Year Scheduled Or Projected Service Life:	10-14
Capital Recommendation:	No Work Required
Capital Budget:	\$0
Maintenance Recommendation:	No Work Required
Maintenance Budget:	\$0

Roof Survey Data

**Menomonee Falls, School District of
North Junior High School (343)
Roof Area Number: 25a**

General Information

Survey Date: 06/15/13
Next Survey Date: 03/01/15
Roof Size (square feet): 8430
Roof Height (feet): 24
Roof Perimeter (lin feet): 410
Roof Traffic: Light
Leak Reported: No
Construction Access: Direct
Interior Affect On Roof: No

Historical Information

Roof Installation Date: 1999
System Warranted: No
Warranty Issue Date: 09/29/99 **Warr. Expire Date:** 09/29/09
Installation Contractor: Specialty Associates, Inc.
Warranty Holder: Honeywell International, Inc.
Warranty Number: M0410990028

Roof Construction

Description: Precast concrete deck - 2 courses 1.5" polyisocyanurate
insulation - 1/2" fiberboard insulation - coal tar pitch built-up
roof with gravel surface
Num. Of Roof Systems: One **Insulation Layers:** Three
Total Insul. Thickness: 3.5" **Total R-Value:** 21.4

Rooftop Projections/Equipment

Description: Four square curbs - two pipe vents (stacks) - five soil stacks - one
small pipe
HVAC Units: None
Pitch Pans: One - replace

Roof System Conditions

Deck:	Unknown	Insulation:	Unknown
Membrane:	Good Condition	Base Flashing:	Good Condition
Membrane Tie-In:	None Present		
Counter Flashing:	Good Condition		
Metal Edge:	None Present		
Cap Flashing:	Good Condition		
Coping:	Good Condition		
Gutter Edge:	None Present		
Expansion Joint:	Good Condition		
Wall Exp. Joint:	None Present		
Wall Surfaces:			
Require Attention:	None Present		
Recommendation:	N/A		
Condition Comments:	None.		

Water Removal

Roof Slope:	Dead level	Slope Method:	Structural
Drainage Method:	Four scuppers	Drainage:	Fair
Add Drains/Number:	No	Add Taper:	No

Testing Recommended

Structural Analysis:	No	Dew Point Analysis:	No
Infrared Survey:	No	Asbestos Sampling:	No
ACRM Results:	N/A		

General Comments

None.

Conclusions

Year Scheduled Or Projected Service Life:	10-14
Capital Recommendation:	No Work Required
Capital Budget:	\$0
Maintenance Recommendation:	No Work Required
Maintenance Budget:	\$0

Roof Survey Data

**Menomonee Falls, School District of
North Junior High School (343)
Roof Area Number: 25b**

General Information

Survey Date: 06/15/13
Next Survey Date: 03/01/15
Roof Size (square feet): 5950
Roof Height (feet): 24
Roof Perimeter (lin feet): 320
Roof Traffic: Light
Leak Reported: No
Construction Access: Direct
Interior Affect On Roof: No

Historical Information

Roof Installation Date: 1999
System Warranted: No
Warranty Issue Date: 09/29/99 **Warr. Expire Date:** 09/29/09
Installation Contractor: Specialty Associates, Inc.
Warranty Holder: Honeywell International, Inc.
Warranty Number: M0410990028

Roof Construction

Description: Precast concrete deck - 2 courses 1.5" polyisocyanurate
insulation - 1/2" fiberboard insulation - coal tar pitch built-up
roof with gravel surface
Num. Of Roof Systems: One **Insulation Layers:** Three
Total Insul. Thickness: 3.5" **Total R-Value:** 21.4

Rooftop Projections/Equipment

Description: One square curb - one pipe vent (stack) - seven soil stacks
HVAC Units: None
Pitch Pans: One - replace

Roof System Conditions

Deck:	Unknown	Insulation:	Unknown
Membrane:	Good Condition	Base Flashing:	Good Condition
Membrane Tie-In:	None Present		
Counter Flashing:	None Present		
Metal Edge:	None Present		
Cap Flashing:	Good Condition		
Coping:	None Present		
Gutter Edge:	None Present		
Expansion Joint:	Good Condition		
Wall Exp. Joint:	None Present		
Wall Surfaces:			
Require Attention:	None Present		
Recommendation:	N/A		
Condition Comments:	None.		

Water Removal

Roof Slope:	Dead level	Slope Method:	Structural
Drainage Method:	Four scuppers	Drainage:	Fair
Add Drains/Number:	No	Add Taper:	No

Testing Recommended

Structural Analysis:	No	Dew Point Analysis:	No
Infrared Survey:	No	Asbestos Sampling:	No
ACRM Results:	N/A		

General Comments

None

Conclusions

Year Scheduled Or Projected Service Life:	6-9
Capital Recommendation:	No Work Required
Capital Budget:	\$0
Maintenance Recommendation:	No Work Required
Maintenance Budget:	\$0

Roof Survey Data

**Menomonee Falls, School District of
North Junior High School (343)
Roof Area Number: 26**

General Information

Survey Date: 06/15/13
Next Survey Date: 03/01/15
Roof Size (square feet): 1440
Roof Height (feet): 15
Roof Perimeter (lin feet): 210
Roof Traffic: None
Leak Reported: No
Construction Access: Direct
Interior Affect On Roof: No

Historical Information

Roof Installation Date: 2001
System Warranted: No
Warranty Issue Date: 08/01/01 **Warr. Expire Date:** 08/01/11
Installation Contractor: Roberts Roofing and Siding, Inc.
Warranty Holder: CertainTeed Commercial Roofing
Warranty Number: FV10516C01

Roof Construction

Description: Precast concrete deck - 2 courses 1.5" polyisocyanurate
insulation - 1/2" fiberboard insulation - asphalt built-up roof with
gravel surface
Num. Of Roof Systems: One **Insulation Layers:** Three
Total Insul. Thickness: 3.5" **Total R-Value:** 21.4

Rooftop Projections/Equipment

Description: None
HVAC Units: None
Pitch Pans: None

Roof System Conditions

Deck:	Unknown	Insulation:	Unknown
Membrane:	Good Condition	Base Flashing:	Good Condition
Membrane Tie-In:	None Present		
Counter Flashing:	Good Condition		
Metal Edge:	None Present		
Cap Flashing:	Good Condition		
Coping:	None Present		
Gutter Edge:	None Present		
Expansion Joint:	None Present		
Wall Exp. Joint:	None Present		
Wall Surfaces:			
Require Attention:	Yes		
Recommendation:	Seal around windows.		
Condition Comments:	There is some organic debris around the drains. There is some debris on the roof and there is failed sealant in the joints above and below the windows.		

Water Removal

Roof Slope:	1/8 inch/foot	Slope Method:	Structural
Drainage Method:	Two drains	Drainage:	Good
Add Drains/Number:	No	Add Taper:	No

Testing Recommended

Structural Analysis:	No	Dew Point Analysis:	No
Infrared Survey:	No	Asbestos Sampling:	No
ACRM Results:	N/A		

General Comments

Roof requires some minor preventative maintenance to facilitate its proper performance through the duration of its design service life.

Conclusions

Year Scheduled Or Projected Service Life:	10-14
Capital Recommendation:	No Work Required
Capital Budget:	\$0
Maintenance Recommendation:	Preventative Maintenance
Maintenance Budget:	\$600

Roof Survey Data

**Menomonee Falls, School District of
North Junior High School (343)
Roof Area Number: 27**

General Information

Survey Date: 06/15/13
Next Survey Date: 03/01/15
Roof Size (square feet): 950
Roof Height (feet): 24
Roof Perimeter (lin feet): 120
Roof Traffic: Moderate
Leak Reported: No
Construction Access: Direct
Interior Affect On Roof: No

Historical Information

Roof Installation Date: 2001
System Warranted: No
Warranty Issue Date: 08/28/01 **Warr. Expire Date:** 08/28/11
Installation Contractor: Roberts Roofing & Siding, Inc.
Warranty Holder: Honeywell International, Inc.
Warranty Number: M0410000029

Roof Construction

Description: Steel deck - 2 courses 1.5" polyisocyanurate insulation - 1/2" fiberboard insulation - coal tar pitch built-up roof with gravel surface
Num. Of Roof Systems: One **Insulation Layers:** Three
Total Insul. Thickness: 3.5" **Total R-Value:** 21.4

Rooftop Projections/Equipment

Description: Three square curbs - two A.C. condensers - one roof hatch - sixteen equipment stand legs
HVAC Units: None
Pitch Pans: Sixteen - refill

Roof System Conditions

Deck:	Unknown	Insulation:	Unknown
Membrane:	Good Condition	Base Flashing:	Good Condition
Membrane Tie-In:	None Present		
Counter Flashing:	Good Condition		
Metal Edge:	None Present		
Cap Flashing:	Good Condition		
Coping:	None Present		
Gutter Edge:	None Present		
Expansion Joint:	None Present		
Wall Exp. Joint:	None Present		
Wall Surfaces:			
Require Attention:	Yes		
Recommendation:	Reseal joints in precast.		
Condition Comments:	Several pitch pans require refilling. Debris on roof.		

Water Removal

Roof Slope:	Dead level	Slope Method:	Structural
Drainage Method:	One drain	Drainage:	Fair
Add Drains/Number:	No	Add Taper:	No

Testing Recommended

Structural Analysis:	No	Dew Point Analysis:	No
Infrared Survey:	No	Asbestos Sampling:	No
ACRM Results:	N/A		

General Comments

None

Conclusions

Year Scheduled Or Projected Service Life:	10-14
Capital Recommendation:	No Work Required
Capital Budget:	\$0
Maintenance Recommendation:	Preventative Maintenance
Maintenance Budget:	\$400

Roof Survey Data

**Menomonee Falls, School District of
North Junior High School (343)
Roof Area Number: 28**

General Information

Survey Date: 06/15/13
Next Survey Date: 03/01/15
Roof Size (square feet): 8930
Roof Height (feet): 30
Roof Perimeter (lin feet): 380
Roof Traffic: None
Leak Reported: No
Construction Access: Direct
Interior Affect On Roof: No

Historical Information

Roof Installation Date: 2001
System Warranted: No
Warranty Issue Date: 08/01/01 **Warr. Expire Date:** 08/01/11
Installation Contractor: Roberts Roofing & Siding, Inc.
Warranty Holder: CertainTeed Commercial Roofing
Warranty Number: FV11042C02

Roof Construction

Description: Steel deck - 2 courses 1.5" polyisocyanurate insulation - 1/2"
fiberboard insulation - 2-ply base sheet - SBS modified bitumen
roof membrane
Num. Of Roof Systems: One **Insulation Layers:** Three
Total Insul. Thickness: 3.5" **Total R-Value:** 21.4

Rooftop Projections/Equipment

Description: None
HVAC Units: None
Pitch Pans: None

Roof System Conditions

Deck:	Unknown	Insulation:	Unknown
Membrane:	Good Condition	Base Flashing:	Good Condition
Membrane Tie-In:	None Present		
Counter Flashing:	Good Condition		
Metal Edge:	None Present		
Cap Flashing:	Good Condition		
Coping:	Good Condition		
Gutter Edge:	None Present		
Expansion Joint:	None Present		
Wall Exp. Joint:	None Present		
Wall Surfaces:			
Require Attention:	Yes		
Recommendation:	Vertical crack in NW & SW brick, failed control joints.		
Condition Comments:	None.		

Water Removal

Roof Slope:	1/4 inch/foot	Slope Method:	Structural
Drainage Method:	Five drains	Drainage:	Good
Add Drains/Number:	No	Add Taper:	No

Testing Recommended

Structural Analysis:	No	Dew Point Analysis:	No
Infrared Survey:	No	Asbestos Sampling:	No
ACRM Results:	N/A		

General Comments

Roof generally in good condition.

Conclusions

Year Scheduled Or Projected Service Life:	6-9
Capital Recommendation:	No Work Required
Capital Budget:	\$0
Maintenance Recommendation:	Preventative Maintenance
Maintenance Budget:	\$900

Roof Survey Data

**Menomonee Falls, School District of
North Junior High School (343)
Roof Area Number: 29**

General Information

Survey Date: 06/15/13
Next Survey Date: 03/01/15
Roof Size (square feet): 3070
Roof Height (feet): 45
Roof Perimeter (lin feet): 270
Roof Traffic: None
Leak Reported: No
Construction Access: Direct
Interior Affect On Roof: No

Historical Information

Roof Installation Date: 2001
System Warranted: No
Warranty Issue Date: 08/28/01 **Warr. Expire Date:** 08/28/11
Installation Contractor: Roberts Roofing & Siding, Inc.
Warranty Holder: Honeywell International, Inc.
Warranty Number: M0410000029

Roof Construction

Description: Steel deck - 2 courses 1.5" polyisocyanurate insulation - 1/2" fiberboard insulation - coal tar pitch built-up roof with gravel surface
Num. Of Roof Systems: One **Insulation Layers:** Three
Total Insul. Thickness: 3.5" **Total R-Value:** 21.4

Rooftop Projections/Equipment

Description: Two square curbs - one roof hatch - eight smoke hatches
HVAC Units: None
Pitch Pans: None

Roof System Conditions

Deck:	Good Condition	Insulation:	Unknown
Membrane:	Good Condition	Base Flashing:	Good Condition
Membrane Tie-In:	None Present		
Counter Flashing:	None Present		
Metal Edge:	None Present		
Cap Flashing:	Good Condition		
Coping:	None Present		
Gutter Edge:	None Present		
Expansion Joint:	None Present		
Wall Exp. Joint:	None Present		
Wall Surfaces:			
Require Attention:	None Present		
Recommendation:	N/A		
Condition Comments:	Two uppermost ladder anchor bolts have failed.		

Water Removal

Roof Slope:	Dead level	Slope Method:	Structural
Drainage Method:	Two drains	Drainage:	Fair
Add Drains/Number:	No	Add Taper:	No

Testing Recommended

Structural Analysis:	No	Dew Point Analysis:	No
Infrared Survey:	No	Asbestos Sampling:	No
ACRM Results:	N/A		

General Comments

None.

Conclusions

Year Scheduled Or Projected Service Life:	10-14
Capital Recommendation:	No Work Required
Capital Budget:	\$0
Maintenance Recommendation:	Preventative Maintenance
Maintenance Budget:	\$200

Roof Survey Data

**Menomonee Falls, School District of
North Junior High School (343)
Roof Area Number: 30**

General Information

Survey Date: 06/15/13
Next Survey Date: 03/01/15
Roof Size (square feet): 750
Roof Height (feet): 24
Roof Perimeter (lin feet): 180
Roof Traffic: None
Leak Reported: No
Construction Access: Direct
Interior Affect On Roof: No

Historical Information

Roof Installation Date: 2001
System Warranted: No
Warranty Issue Date: 08/28/01 **Warr. Expire Date:** 08/28/11
Installation Contractor: Roberts Roofing & Siding, Inc.
Warranty Holder: Honeywell International, Inc.
Warranty Number: M0410000029

Roof Construction

Description: Steel/lightweight concrete deck - 1" polyisocyanurate insulation -
1/2" fiberboard insulation - coal tar pitch built-up roof with
gravel surface
Num. Of Roof Systems: One **Insulation Layers:** Two
Total Insul. Thickness: 1.5" **Total R-Value:** 8.06

Rooftop Projections/Equipment

Description: None
HVAC Units: None
Pitch Pans: None

Roof System Conditions

Deck:	Unknown	Insulation:	Unknown
Membrane:	Good Condition	Base Flashing:	Good Condition
Membrane Tie-In:	None Present		
Counter Flashing:	Good Condition		
Metal Edge:	None Present		
Cap Flashing:	None Present		
Coping:	Good Condition		
Gutter Edge:	None Present		
Expansion Joint:	None Present		
Wall Exp. Joint:	None Present		
Wall Surfaces:			
Require Attention:	No		
Recommendation:	N/A		
Condition Comments:	Roof is in good condition.		

Water Removal

Roof Slope:	Dead level	Slope Method:	Structural
Drainage Method:	Two drains	Drainage:	Fair
Add Drains/Number:	No	Add Taper:	No

Testing Recommended

Structural Analysis:	No	Dew Point Analysis:	No
Infrared Survey:	No	Asbestos Sampling:	No
ACRM Results:	N/A		

General Comments

None.

Conclusions

Year Scheduled Or Projected Service Life:	10-14
Capital Recommendation:	No Work Required
Capital Budget:	\$0
Maintenance Recommendation:	No Work Required
Maintenance Budget:	\$0

Roof Survey Data

**Menomonee Falls, School District of
North Junior High School (343)
Roof Area Number: 31**

General Information

Survey Date: 06/15/13
Next Survey Date: 03/01/15
Roof Size (square feet): 2230
Roof Height (feet): 17
Roof Perimeter (lin feet): 280
Roof Traffic: None
Leak Reported: No
Construction Access: Direct
Interior Affect On Roof: No

Historical Information

Roof Installation Date: 2001
System Warranted: No
Warranty Issue Date: 08/28/01 **Warr. Expire Date:** 08/28/11
Installation Contractor: Roberts Roofing & Siding, Inc.
Warranty Holder: Honeywell International, Inc.
Warranty Number: M0410000029

Roof Construction

Description: Steel deck - 2 courses 1.5" polyisocyanurate insulation - 1/2" fiberboard insulation - coal tar pitch built-up roof with gravel surface
Num. Of Roof Systems: One **Insulation Layers:** Three
Total Insul. Thickness: 3.5" **Total R-Value:** 21.4

Rooftop Projections/Equipment

Description: Two square curbs - two soil stacks - one roof hatch - two unused (capped)
HVAC Units: None
Pitch Pans: None

Roof System Conditions

Deck:	Good Condition	Insulation:	Unknown
Membrane:	Good Condition	Base Flashing:	Good Condition
Membrane Tie-In:	None Present		
Counter Flashing:	Good Condition		
Metal Edge:	None Present		
Cap Flashing:	Good Condition		
Coping:	None Present		
Gutter Edge:	None Present		
Expansion Joint:	None Present		
Wall Exp. Joint:	None Present		
Wall Surfaces:			
Require Attention:	Yes		
Recommendation:	Reseal one control joint (first 10 feet).		
Condition Comments:	Debris on roof.		

Water Removal

Roof Slope:	Dead level	Slope Method:	Structural
Drainage Method:	Two drains	Drainage:	Fair
Add Drains/Number:	No	Add Taper:	No

Testing Recommended

Structural Analysis:	No	Dew Point Analysis:	No
Infrared Survey:	No	Asbestos Sampling:	No
ACRM Results:	N/A		

General Comments

None

Conclusions

Year Scheduled Or Projected Service Life:	10-14
Capital Recommendation:	No Work Required
Capital Budget:	\$0
Maintenance Recommendation:	No Work Required
Maintenance Budget:	\$0

Roof Survey Data

**Menomonee Falls, School District of
North Junior High School (343)
Roof Area Number: 32**

General Information

Survey Date: 06/15/13
Next Survey Date: 03/01/14
Roof Size (square feet): 2620
Roof Height (feet): 15
Roof Perimeter (lin feet): 320
Roof Traffic: Light
Leak Reported: No
Construction Access: Direct
Interior Affect On Roof: No

Historical Information

Roof Installation Date: 2001
System Warranted: No
Warranty Issue Date: 08/28/01 **Warr. Expire Date:** 08/28/11
Installation Contractor: Roberts Roofing & Siding, Inc.
Warranty Holder: Honeywell International, Inc.
Warranty Number: M0410000029

Roof Construction

Description: Steel deck - 2 courses 1.5" polyisocyanurate insulation - 1/2" fiberboard insulation - coal tar pitch built-up roof with gravel surface
Num. Of Roof Systems: One **Insulation Layers:** Three
Total Insul. Thickness: 3.5" **Total R-Value:** 21.4

Rooftop Projections/Equipment

Description: One square curb
HVAC Units: None
Pitch Pans: None

Roof System Conditions

Deck:	Unknown	Insulation:	Unknown
Membrane:	Good Condition	Base Flashing:	Good Condition
Membrane Tie-In:	None Present		
Counter Flashing:	Good Condition		
Metal Edge:	None Present		
Cap Flashing:	Good Condition		
Coping:	None Present		
Gutter Edge:	None Present		
Expansion Joint:	None Present		
Wall Exp. Joint:	None Present		
Wall Surfaces:			
Require Attention:	Yes		
Recommendation:	Seal around wall louvers.		
Condition Comments:	Debris on roof. Minor blistering of base flashing. Damaged vent hood. Debris around drain.		

Water Removal

Roof Slope:	Dead level	Slope Method:	Structural
Drainage Method:	Three drains	Drainage:	Fair
Add Drains/Number:	No	Add Taper:	No

Testing Recommended

Structural Analysis:	No	Dew Point Analysis:	No
Infrared Survey:	No	Asbestos Sampling:	No
ACRM Results:	N/A		

General Comments

None

Conclusions

Year Scheduled Or Projected Service Life:	10-14
Capital Recommendation:	No Work Required
Capital Budget:	\$0
Maintenance Recommendation:	No Work Required
Maintenance Budget:	\$0

Roof Survey Data

**Menomonee Falls, School District of
North Junior High School (343)
Roof Area Number: 33**

General Information

Survey Date: 06/15/13
Next Survey Date: 03/01/15
Roof Size (square feet): 1810
Roof Height (feet): 15
Roof Perimeter (lin feet): 190
Roof Traffic: Light
Leak Reported: No
Construction Access: Direct
Interior Affect On Roof: No

Historical Information

Roof Installation Date: 2001
System Warranted: No
Warranty Issue Date: 08/28/01 **Warr. Expire Date:** 08/28/11
Installation Contractor: Roberts Roofing & Siding, Inc.
Warranty Holder: Honeywell International, Inc.
Warranty Number: M0410000029

Roof Construction

Description: Steel deck - 2 courses 1.5" polyisocyanurate insulation - 1/2" fiberboard insulation - coal tar pitch built-up roof with gravel surface
Num. Of Roof Systems: One **Insulation Layers:** Three
Total Insul. Thickness: 3.5" **Total R-Value:** 21.4

Rooftop Projections/Equipment

Description: None
HVAC Units: None
Pitch Pans: None

Roof System Conditions

Deck:	Unknown	Insulation:	Unknown
Membrane:	Requires Preventative Maintenance	Base Flashing:	Good Condition
Membrane Tie-In:	None Present		
Counter Flashing:	None Present		
Metal Edge:	None Present		
Cap Flashing:	Good Condition		
Coping:	Good Condition		
Gutter Edge:	None Present		
Expansion Joint:	Good Condition		
Wall Exp. Joint:	None Present		
Wall Surfaces:			
Require Attention:	None Present		
Recommendation:	N/A		
Condition Comments:	Some organic debris around drain. Debris scattered on roof system. Several blisters on south half of roof area.		

Water Removal

Roof Slope:	Dead level	Slope Method:	Structural
Drainage Method:	One drain	Drainage:	Fair
Add Drains/Number:	No	Add Taper:	No

Testing Recommended

Structural Analysis:	No	Dew Point Analysis:	No
Infrared Survey:	No	Asbestos Sampling:	No
ACRM Results:	N/A		

General Comments

The roof system will require some preventative maintenance to facilitate its performance through the duration of its design service life.

Conclusions

Year Scheduled Or Projected Service Life:	10-14
Capital Recommendation:	No Work Required
Capital Budget:	\$0
Maintenance Recommendation:	No Work Required
Maintenance Budget:	\$0

Roof Survey Data

**Menomonee Falls, School District of
North Junior High School (343)
Roof Area Number: 34**

General Information

Survey Date: 06/15/13
Next Survey Date: 03/01/15
Roof Size (square feet): 2530
Roof Height (feet): 15
Roof Perimeter (lin feet): 230
Roof Traffic: None
Leak Reported: No
Construction Access: Direct
Interior Affect On Roof: No

Historical Information

Roof Installation Date: 2001
System Warranted: No
Warranty Issue Date: 08/28/01 **Warr. Expire Date:** 08/28/11
Installation Contractor: Roberts Roofing & Siding, Inc.
Warranty Holder: Honeywell International, Inc.
Warranty Number: M0410000029

Roof Construction

Description: Precast concrete deck - 2 courses 1.5" polyisocyanurate
insulation - 1/2" fiberboard insulation - coal tar pitch built-up
roof with gravel surface
Num. Of Roof Systems: One **Insulation Layers:** Three
Total Insul. Thickness: 3.5" **Total R-Value:** 21.4

Rooftop Projections/Equipment

Description: One square curb - two equipment stand legs - one small pipe
HVAC Units: None
Pitch Pans: Two - refill

Roof System Conditions

Deck:	Unknown	Insulation:	Unknown
Membrane:	Good Condition	Base Flashing:	Good Condition
Membrane Tie-In:	None Present		
Counter Flashing:	Good Condition		
Metal Edge:	None Present		
Cap Flashing:	Good Condition		
Coping:	None Present		
Gutter Edge:	None Present		
Expansion Joint:	None Present		
Wall Exp. Joint:	None Present		
Wall Surfaces:			
Require Attention:	Yes		
Recommendation:	Rehabilitate kasota stone.		
Condition Comments:	Debris around roof drain and on roof surface.		

Water Removal

Roof Slope:	Dead level	Slope Method:	Structural
Drainage Method:	1 drain, 1 scupper	Drainage:	Poor
Add Drains/Number:	No	Add Taper:	No

Testing Recommended

Structural Analysis:	No	Dew Point Analysis:	No
Infrared Survey:	No	Asbestos Sampling:	No
ACRM Results:	N/A		

General Comments

Roof requires some normal maintenance to facilitate its proper performance through the duration of its design service life

Conclusions

Year Scheduled Or Projected Service Life:	10-14
Capital Recommendation:	No Work Required
Capital Budget:	\$0
Maintenance Recommendation:	No Work Required
Maintenance Budget:	\$0

Roof Survey Data

**Menomonee Falls, School District of
North Junior High School (343)
Roof Area Number: 35**

General Information

Survey Date: 06/15/13
Next Survey Date: 03/01/15
Roof Size (square feet): 130
Roof Height (feet): 17
Roof Perimeter (lin feet): 50
Roof Traffic: None
Leak Reported: No
Construction Access: Direct
Interior Affect On Roof: No

Historical Information

Roof Installation Date: 2001
System Warranted: No
Warranty Issue Date: 08/28/01 **Warr. Expire Date:** 08/28/11
Installation Contractor: Roberts Roofing & Siding, Inc.
Warranty Holder: Honeywell International, Inc.
Warranty Number: M0410000029

Roof Construction

Description: Precast concrete deck - 2 courses 1.5" polyisocyanurate
insulation - 1/2" fiberboard insulation - coal tar pitch built-up
roof with gravel surface
Num. Of Roof Systems: One **Insulation Layers:** Three
Total Insul. Thickness: 3.5" **Total R-Value:** 21.4

Rooftop Projections/Equipment

Description: None
HVAC Units: None
Pitch Pans: None

Roof System Conditions

Deck:	Unknown	Insulation:	Unknown
Membrane:	Good Condition	Base Flashing:	Good Condition
Membrane Tie-In:	None Present		
Counter Flashing:	Good Condition		
Metal Edge:	None Present		
Cap Flashing:	Good Condition		
Coping:	None Present		
Gutter Edge:	None Present		
Expansion Joint:	None Present		
Wall Exp. Joint:	None Present		
Wall Surfaces:			
Require Attention:	No		
Recommendation:	N/A		
Condition Comments:	No visual deficiencies observed during our survey. Trim back tree limbs.		

Water Removal

Roof Slope:	Dead level	Slope Method:	Structural
Drainage Method:	One scupper	Drainage:	Fair
Add Drains/Number:	No	Add Taper:	No

Testing Recommended

Structural Analysis:	No	Dew Point Analysis:	No
Infrared Survey:	No	Asbestos Sampling:	No
ACRM Results:	N/A		

General Comments

None

Conclusions

Year Scheduled Or Projected Service Life:	10-14
Capital Recommendation:	No Work Required
Capital Budget:	\$0
Maintenance Recommendation:	No Work Required
Maintenance Budget:	\$0

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Menomonee Falls School District**Comprehensive Management Roof Survey****High School**

W142 N8101 Merrimac Drive

Menomonee Falls, Wisconsin

Prepared for: Richard Fechter

Prepared by: Keith A. Dippel

June 21, 2013

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Introduction

The purpose of the comprehensive management roof survey was to complete a visual assessment of the facility's roof system and provide management with an opinion regarding its condition, immediate maintenance needs, annual proactive maintenance recommendations, and long term capital requirements.

There are a total of thirty (35) individual roof areas encompassing approximately 186,786 square feet representing an approximate in-kind replacement value of \$1,230,000. The roof systems range in age from three (3) to twenty-three (23) years of age. Nineteen (19) out of the thirty-five (35) roof systems are currently covered under active warranties from the roof system manufacturers.

IRS completed the visual roof survey on June 20, 2013. Weather conditions during the survey were partly cloudy with an ambient temperature of 73 degrees Fahrenheit. Jeff K, a maintenance employee, indicated he was aware of one active roof leak near the corner transition of Roof Area 6 & 29. A set of the original construction drawings were not available during our survey and were not reviewed as part of our survey.

Roof System History

Roof Area	Roof System	Installation Date	Installation Contractor	Manufacturer	Warranty Expiration
1	EPDM single-ply, stone ballasted	2008	J.T. Roofing	Unknown	Unknown
2	4-ply asphalt built-up w/ gravel	2009	Carlson	CertainTeed	7/28/2019
3	4-ply asphalt built-up w/ gravel	2010	Nations Roof	Johns-Manville	8/26/2020
4	2-ply & SBS modified bitumen	1990	Dehling-Voigt	GAF	None
5	Liquid applied coating (canopy)	Unknown	Unknown	Unknown	Unknown
6	4-ply asphalt built-up w/ gravel	1999	Robert's Roofing & Siding	GAF	None
7	4-ply asphalt built-up w/ gravel	2010	Nations Roof	Johns-Manville	8/26/2020
8	4-ply asphalt built-up w/ gravel	2000	Carlson	Johns-Manville	None
9	4-ply asphalt built-up w/ gravel	2004	MM Schranz	Johns-Manville	8/10/2014
10	4-ply asphalt built-up w/ gravel	2004	MM Schranz	Johns-Manville	8/10/2014
11	4-ply asphalt built-up w/ gravel	2001	Walsdorf	CertainTeed	None
12	4-ply asphalt built-up w/ gravel	2004	MM Schranz	Johns-Manville	8/10/2014
13	EPDM single-ply, fully-adhered	2004	MM Schranz	Johns-Manville	8/10/2014

Roof System History (continued)

Roof Area	Roof System	Installation Date	Installation Contractor	Manufacturer	Warranty Expiration
14	EPDM single-ply, fully-adhered	2004	MM Schranz	Johns-Manville	8/10/2014
15	EPDM single-ply, stone-ballasted	2004	MM Schranz	Johns-Manville	8/10/2014
16	4-ply asphalt built-up w/ gravel	2004	MM Schranz	Johns-Manville	8/10/2014
17	4-ply asphalt built-up w/ gravel	2004	MM Schranz	Johns-Manville	8/10/2014
18	4-ply asphalt built-up w/ gravel	2004	MM Schranz	Johns-Manville	8/10/2014
19	EPDM single-ply, stone ballasted	2008	J.T. Roofing	Firestone	10/10/2018
20	EPDM single-ply, stone ballasted	2008	J.T. Roofing	Firestone	10/10/2018
21	EPDM single-ply, stone ballasted	2008	J.T. Roofing	Firestone	10/10/2018
22	EPDM single-ply, stone ballasted	2008	J.T. Roofing	Firestone	10/10/2018
23	EPDM single-ply, stone ballasted	2008	J.T. Roofing	Firestone	10/10/2018
24	EPDM single-ply, stone ballasted	2008	J.T. Roofing	Firestone	10/10/2018
25	EPDM single-ply, stone ballasted	2008	J.T. Roofing	Firestone	10/10/2018
26	EPDM single-ply, stone ballasted	2007	J.T. Roofing	Firestone	Unknown
27	EPDM single-ply, stone ballasted	2007	J.T. Roofing	Firestone	Unknown
28	EPDM single-ply, stone ballasted	2007	J.T. Roofing	Firestone	Unknown
29	EPDM single-ply, fully-adhered	2007	J.T. Roofing	Firestone	Unknown
30	EPDM single-ply, stone ballasted	2007	J.T. Roofing	Firestone	Unknown
31	EPDM single-ply, fully-adhered	2007	J.T. Roofing	Firestone	Unknown
32	4-ply asphalt built-up w/ gravel	Unknown	Unknown	Unknown	Unknown
33	EPDM single-ply, stone ballasted	2007	J.T. Roofing	Firestone	Unknown
34	EPDM single-ply, stone ballasted	2007	J.T. Roofing	Firestone	Unknown
35	EPDM single-ply, stone ballasted	Unknown	Unknown	Unknown	Unknown

Condition Survey

Roof Area 1



Construction

Precast concrete deck

Tapered expanded polystyrene insulation (1/8" per lineal foot)

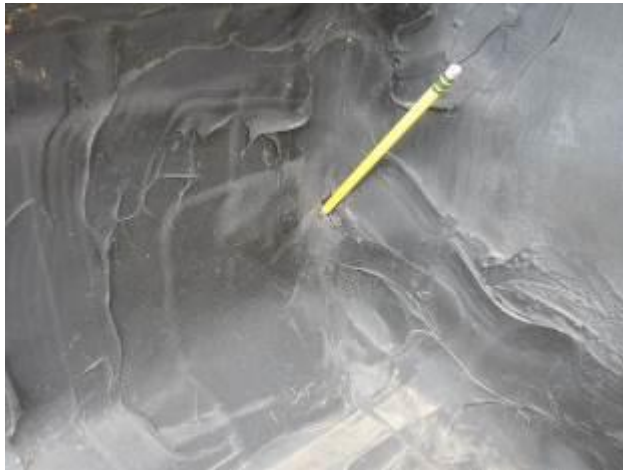
45-Mil EPDM single-ply roof membrane, stone ballast

Condition Survey

Roof Area 1

Conditions

The roof membrane is in serviceable condition but we noted the sealant in the control joints of the wall panels, along the counter flashing, and at the ladder the sealant has failed. Several locations of construction debris were found on the roof membrane. Additionally, we noted open base flashings along the perimeter and curbs, a broken drain strainer a pitch pan which requires refilling and the 4x4 blocking lack slip protection membrane.



Condition Survey

Roof Area 1

Conclusions

The 5 year old stone ballasted EPDM single-ply roof system is in need of preventative and remedial maintenance to ensure it performs throughout the remainder of its 18 year designed service life.

The installed roof system presents the following safety and maintenance issues:

Safety

No safety concerns were observed on this roof area.

Preventative Maintenance

Engage IRS to develop an Annual Maintenance and Repair Specifications (AMRS) to address necessary preventative and remedial repairs.

Remedial Maintenance

Remedial repairs are necessary, and should be included in a future (AMRS).

Condition Survey

Roof Area 2



Construction

- Steel deck (structurally sloped)
- 2.5" Polyisocyanurate insulation
- 1/2" Fiberboard insulation
- 4-ply asphalt built-up roof membrane, gravel surfacing

Condition Survey

Roof Area 2

Conditions

The roof membrane is in serviceable condition but we noted wind erosion in the southwest corner, sealant failure in the corners of the prefinished galvanized coping and the 4x4 wood blocks lack slip protection.



Condition Survey

Roof Area 2

Conclusions

The 4 year old asphalt built-up roof system is in need of preventative maintenance to ensure it performs throughout the remainder of its 25 year designed service life.

The installed roof system presents the following safety and maintenance issues:

Safety

No safety concerns were observed on this roof area.

Preventative Maintenance

Engage IRS to develop an Annual Maintenance and Repair Specifications (AMRS) to address necessary preventative and remedial repairs.

Remedial Maintenance

No remedial maintenance items were observed at this time.

Condition Survey

Roof Area 3



Construction

- Steel deck (structurally sloped)
- 2" Polyisocyanurate insulation
- 1/2" Fiberboard insulation
- 4-ply asphalt built-up roof membrane, gravel surfacing

Condition Survey

Roof Area 3

Conditions

We did not note any deficiencies during our survey beyond the minor wind erosion occurring in the northwest corner and minor accumulation of debris on the roof surface.



Condition Survey

Roof Area 3

Conclusions

The 3 year old asphalt built-up roof system does not require preventative maintenance at this time but should continue to receive normal maintenance on a yearly basis, to ensure it performs throughout the remainder of its 25 year designed service life.

The installed roof system presents the following safety and maintenance issues:

Safety

No safety concerns were observed on this roof area.

Preventative Maintenance

No preventative maintenance items were observed at this time.

Remedial Maintenance

No remedial maintenance items were observed at this time.

Condition Survey

Roof Area 4



Construction

- Steel deck (structurally sloped)
- 15/16" Fiberglass insulation
- 2-Ply vapor retarder
- 1" Polyisocyanurate insulation
- ½" Fiberboard insulation
- 2-ply & SBS modified bitumen roof membrane, gravel surfacing

Condition Survey

Roof Area 4

Conditions

The roof membrane is in serviceable condition with failed sealant noted with construction joints along the counter flashing and of the masonry wall, a pipe vent missing a rain cap, blistering in the membrane and debris on the roof surface. Additionally, we noted two locations of spalled concrete in the wall panels and along the ladder rungs penetrating the wall system.



Condition Survey

Roof Area 4

Conclusions

The 23 year old 2-ply & SBS modified bitumen built-up roof system is in serviceable condition but requires preventative & remedial maintenance at this time to facilitate its proper performance throughout the duration of its 25 year designed service life and extend its useful service life.

The installed roof system presents the following safety and maintenance issues:

Safety

No safety concerns were observed with this roof area.

Preventative Maintenance

Engage IRS to develop an Annual Maintenance and Repair Specifications (AMRS) to address necessary preventative and remedial repairs.

Remedial Maintenance

Remedial repairs are necessary, and should be included in a future (AMRS).

Condition Survey

Roof Area 5



Construction

Poured concrete roof deck (structurally sloped)
Liquid applied coating

Condition Survey

Roof Area 5

Conditions

The liquid applied coating on top of the roof deck is in poor condition. We noted failed mortar joints within the adjacent masonry walls. Additionally we noted damage to the precast roof deck and debris on the surfacing.



Condition Survey

Roof Area 5

Conclusions

The concrete roof deck with liquid applied coating is in serviceable condition and requires preventative and remedial maintenance at this time to facilitate its proper performance throughout the duration of its useful service life.

The installed roof system presents the following safety and maintenance issues:

Safety

No safety concerns were observed with this roof area.

Preventative Maintenance

Engage IRS to develop an Annual Maintenance and Repair Specifications (AMRS) to address necessary preventative and remedial repairs.

Remedial Maintenance

Remedial repairs are necessary, and should be included in a future (AMRS).

Condition Survey

Roof Area 6



Construction

- Precast concrete roof decking
- Tapered polyisocyanurate insulation (1/8" per lineal foot)
- 1/2" fiberboard insulation
- 4-ply Asphalt built-up roof membrane
- Flood coat and gravel surface

Condition Survey

Roof Area 6

Conditions

The roof membrane is in serviceable condition but we noted several open corner and base flashings along the perimeters of the roof system, failed sealant along the masonry wall, precast concrete walls and counter flashing. Debris was found throughout the surface of the roof and surrounding the drains.



Condition Survey

Roof Area 6

Conclusions

The 14 year old asphalt built-up roof system in serviceable condition, but requires preventative and remedial maintenance to address the open flashings and failed sealants and normal maintenance to remove debris from the roof surface and roof drains to ensure it performs throughout the remainder of its 25 year designed service life.

The installed roof system presents the following safety and maintenance issues:

Safety

No safety concerns were observed with this roof area.

Preventative Maintenance

Engage IRS to develop an Annual Maintenance and Repair Specifications (AMRS) to address necessary preventative and remedial repairs.

Remedial Maintenance

Remedial repairs are necessary, and should be included in a future (AMRS).

Condition Survey

Roof Area 7



Construction

- Precast concrete roof decking
- Tapered polyisocyanurate insulation (1/8" per lineal foot)
- 1/2" fiberboard insulation
- 4-ply Asphalt built-up roof membrane
- Flood coat and gravel surface

Condition Survey

Roof Area 7

Conditions

The roof membrane is in good condition but we noted failed sealant along the counter flashings and the masonry wall and precast concrete wall panels. As stated in previously reports, we noted a broken drain bonnet.



Condition Survey

Roof Area 7

Conclusions

The 3 year old asphalt built-up roof system in serviceable condition, but requires preventative maintenance to address the failed sealants and broken drain bonnet to ensure it performs throughout the remainder of its 25 year designed service life.

The installed roof system presents the following safety and maintenance issues:

Safety

No safety concerns were observed on this roof area.

Preventative Maintenance

Engage IRS to develop an Annual Maintenance and Repair Specifications (AMRS) to address necessary preventative and remedial repairs.

Remedial Maintenance

No remedial maintenance items were observed at this time.

Condition Survey

Roof Area 8



Construction

- Precast concrete roof decking
- Tapered polyisocyanurate insulation (1/8" per lineal foot)
- 1/2" fiberboard insulation
- 4-ply Asphalt built-up roof membrane
- Flood coat and gravel surface

Condition Survey

Roof Area 8

Conditions

The roof membrane is in serviceable condition but we noted failed sealant along the counter flashings, a failed soil stack flashing, a damaged drain bonnet, and debris on the roof and failed mortar within the CMU wall adjacent to the roof area.



Condition Survey

Roof Area 8

Conclusions

The 13 year old asphalt built-up roof system is in serviceable condition and requires preventative maintenance to address the failed sealant, damaged drain bonnet and debris on the roof surface. Remedial maintenance will be required to address the failed mortar and failed soil stack flashing. These repairs are required to ensure it performs through the remainder of its 25 year designed service life.

The installed roof system presents the following safety and maintenance issues:

Safety

No safety concerns were observed with this roof area.

Preventative Maintenance

Engage IRS to develop an Annual Maintenance and Repair Specifications (AMRS) to address necessary preventative and remedial repairs.

Remedial Maintenance

Remedial repairs are necessary, and should be included in a future (AMRS).

Condition Survey

Roof Area 9



Construction

- Precast concrete roof decking (dead level)
- 1.6" Polyisocyanurate insulation
- Tapered polyisocyanurate insulation (1/8" per lineal foot)
- 1/2" fiberboard insulation
- 4-ply Asphalt built-up roof membrane
- Flood coat and gravel surface

Condition Survey

Roof Area 9

Conditions

The roof membrane is in serviceable condition but we noted failed sealant along the counter flashings, debris on the roof surface and surrounding the drains.



Condition Survey

Roof Area 9

Conclusions

The 9 year old asphalt built-up roof system is in serviceable condition and requires preventative maintenance to address the failed sealants to ensure it performs through the remainder of its 25 year designed service life.

The installed roof system presents the following safety and maintenance issues:

Safety

No safety concerns were observed with this roof area.

Preventative Maintenance

Engage IRS to develop an Annual Maintenance and Repair Specifications (AMRS) to address necessary preventative and remedial repairs.

Remedial Maintenance

No remedial maintenance items were observed at this time.

Condition Survey

Roof Area 10



Construction

- Precast concrete roof decking (dead level)
- 1.6" Polyisocyanurate insulation
- Tapered polyisocyanurate insulation (1/8" per lineal foot)
- 1/2" fiberboard insulation
- 4-ply Asphalt built-up roof membrane
- Flood coat and gravel surface

Condition Survey

Roof Area 10

Conditions

The roof system was not safely accessible during the time of our survey and was viewed from a ladder. Overall the roof system is believed to be in serviceable condition with failed sealant applied along the sheet metal copings.



Condition Survey

Roof Area 10

Conclusions

The 9 year old asphalt built-up roof system is in serviceable condition and requires preventative maintenance to address the failed sealants to ensure it performs through the remainder of its 25 year designed service life.

The installed roof system presents the following safety and maintenance issues:

Safety

No safety concerns were observed with this roof area.

Preventative Maintenance

Engage IRS to develop an Annual Maintenance and Repair Specifications (AMRS) to address necessary preventative and remedial repairs.

Remedial Maintenance

No remedial maintenance items were observed at this time.

Condition Survey

Roof Area 11



Construction

- Precast concrete roof decking
- Tapered polyisocyanurate insulation (1/8" per lineal foot)
- 1/2" fiberboard insulation
- 4-ply Asphalt built-up roof membrane
- Flood coat and gravel surface

Condition Survey

Roof Area 11

Conditions

The roof system has moderate ponding water and gravel erosion surrounding the HVAC units. We also noted failed sealant along a pipe penetration, debris on the roof surface and a broken drain bonnet. Additionally, we noted a hole and exposed structural steel in the CMU wall.



Condition Survey

Roof Area 11

Conclusions

The 12 year old coal tar pitch built-up roof system is in need of preventative and remedial maintenance to address the deficiencies discussed to ensure it performs throughout the remainder of its 25 year designed service life.

The installed roof system presents the following safety and maintenance issues:

Safety

No safety concerns were observed with this roof area.

Preventative Maintenance

Engage IRS to develop an Annual Maintenance and Repair Specifications (AMRS) to address necessary preventative and remedial repairs.

Remedial Maintenance

Remedial repairs are necessary, and should be included in a future (AMRS).

Condition Survey

Roof Area 12



Construction

- Precast concrete roof decking
- 1.6" Polyisocyanurate insulation
- Tapered polyisocyanurate insulation (1/8" per lineal foot)
- 1/2" fiberboard insulation
- 4-ply Asphalt built-up roof membrane
- Flood coat and gravel surface

Condition Survey

Roof Area 12

Conditions

The roof membrane is in serviceable condition but we noted open base flashings and failed sealant along the perimeter, several damaged ventilation hoods, a deteriorated pitch pan, debris on the roof surface, cracking within the mortar and masonry bricks and exposed rebar in the precast concrete walls.



Condition Survey

Roof Area 12

Conclusions

The 9 year old asphalt built-up roof system requires preventative and remedial maintenance to address the base flashings, damaged HVAC units, and adjacent walls systems to ensure it performs throughout the remainder of its 25 year designed service life.

The installed roof system presents the following safety and maintenance issues:

Safety

No safety concerns were observed on this roof area.

Preventative Maintenance

Engage IRS to develop an Annual Maintenance and Repair Specifications (AMRS) to address necessary preventative and remedial repairs.

Remedial Maintenance

Remedial repairs are necessary, and should be included in a future (AMRS).

Condition Survey

Roof Area 13



Construction

Precast concrete roof decking
Tapered polyisocyanurate insulation (1/4" per lineal foot)
1/2" fiberboard insulation
60-Mil EPDM roof membrane, fully-adhered

Condition Survey

Roof Area 13

Conditions

The roof membrane is in serviceable condition but we noted failed lap sealant applied along several of the corner flashings potentially allowing water to penetrate the flashings. Additionally, we observed ponding water atop the roof system.



Condition Survey

Roof Area 13

Conclusions

The 9 year old fully-adhered EPDM single-ply roof system requires preventative maintenance at this time to ensure it performs throughout the remainder of its 20 year designed service life.

The installed roof system presents the following safety and maintenance issues:

Safety

No safety concerns were observed on this roof area.

Preventative Maintenance

Engage IRS to develop an Annual Maintenance and Repair Specifications (AMRS) to address necessary preventative repairs.

Remedial Maintenance

No remedial maintenance items were observed at this time.

Condition Survey

Roof Area 14



Construction

Precast concrete roof decking
Tapered polyisocyanurate insulation (1/4" per lineal foot)
1/2" fiberboard insulation
60-Mil EPDM roof membrane, fully-adhered

Condition Survey

Roof Area 14

Conditions

The roof membrane is in serviceable condition but we noted failed lap sealant applied along several of the corner flashings potentially allowing water to penetrate the flashings.



Condition Survey

Roof Area 14

Conclusions

The 9 year old fully-adhered EPDM single-ply roof system requires preventative maintenance at this time to ensure it performs throughout the remainder of its 20 year designed service life.

The installed roof system presents the following safety and maintenance issues:

Safety

No safety concerns were observed on this roof area.

Preventative Maintenance

Engage IRS to develop an Annual Maintenance and Repair Specifications (AMRS) to address necessary preventative repairs.

Remedial Maintenance

No remedial maintenance items were observed at this time.

Condition Survey

Roof Area 15



Construction

Steel deck

Expanded polystyrene insulation

60-Mil EPDM single-ply roof membrane, stone ballast.

Condition Survey

Roof Area 15

Conditions

The stone ballasted EPDM single-ply roof system is in good condition. We noted a broken strainer on the plastic drain bonnet. No other deficiencies were noted during our survey.



Condition Survey

Roof Area 15

Conclusions

The 9 year old stone ballasted EPDM single-ply roof system requires preventative maintenance to address the damaged drain bonnet to ensure it performs throughout the remainder of its 18 year designed service life.

The installed roof system presents the following safety and maintenance issues:

Safety

No safety concerns were observed on this roof area.

Preventative Maintenance

Engage IRS to develop an Annual Maintenance and Repair Specifications (AMRS) to address necessary preventative repairs.

Remedial Maintenance

No remedial maintenance items were observed at this time.

Condition Survey

Roof Area 16



Construction

- Precast concrete roof decking
- Tapered polyisocyanurate insulation (1/8" per lineal foot)
- 1/2" fiberboard insulation
- 4-ply Asphalt built-up roof membrane
- Flood coat and gravel surface

Condition Survey

Roof Area 16

Conditions

The roof membrane is in serviceable condition but we noted failed sealant along the perimeter counter flashings and debris on the roof surface.



Condition Survey

Roof Area 16

Conclusions

The 9 year old asphalt built-up roof system requires preventative maintenance to address the failed sealant along the counter flashings to ensure it performs throughout the remainder of its 25 year designed service life.

The installed roof system presents the following safety and maintenance issues:

Safety

No safety concerns were observed on this roof area.

Preventative Maintenance

Engage IRS to develop an Annual Maintenance and Repair Specifications (AMRS) to address necessary preventative repairs.

Remedial Maintenance

No remedial maintenance items were observed at this time.

Condition Survey

Roof Area 17



Construction

- Precast concrete roof deck
- Tapered polyisocyanurate insulation (1/4" per lineal foot)
- 1/2" fiberboard insulation
- 4-ply Asphalt built-up roof membrane
- Flood coat and gravel surface

Condition Survey

Roof Area 17

Conditions

The roof system was not safely accessible during the time of our survey but was viewed from the distance of Roof Area 18. The roof membrane appeared to have been previously repaired around the drain and along the perimeter flashings.



Condition Survey

Roof Area 17

Conclusions

The 9 year old asphalt built-up roof system requires preventative maintenance to address the failed sealant along the perimeters to ensure it performs throughout the remainder of its 25 year designed service life.

The installed roof system presents the following safety and maintenance issues:

Safety

No safety concerns were observed on this roof area.

Preventative Maintenance

Engage IRS to develop an Annual Maintenance and Repair Specifications (AMRS) to address necessary preventative and remedial repairs.

Remedial Maintenance

No remedial maintenance items were observed at this time.

Condition Survey

Roof Area 18



Construction

- Steel deck (structurally sloped)
- 1.6" Polyisocyanurate insulation
- 1.6" Polyisocyanurate insulation
- 1/2" fiberboard insulation
- 4-ply Asphalt built-up roof membrane
- Flood coat and gravel surface

Condition Survey

Roof Area 18

Conditions

The roof membrane is in serviceable condition but we noted failed sealant along the perimeter and several damaged ventilation hoods.



Condition Survey

Roof Area 18

Conclusions

The 9 year old asphalt built-up roof system requires preventative and remedial maintenance to address the failed sealant along the perimeters and damaged ventilation hoods to ensure it performs throughout the remainder of its 25 year designed service life.

The installed roof system presents the following safety and maintenance issues:

Safety

No safety concerns were observed on this roof area.

Preventative Maintenance

Engage IRS to develop an Annual Maintenance and Repair Specifications (AMRS) to address necessary preventative and remedial repairs.

Remedial Maintenance

Remedial repairs are necessary, and should be included in a future (AMRS).

Condition Survey

Roof Area 19



Construction

- Steel deck (dead level)
- Tapered expanded polystyrene insulation (loose laid)
- EPDM single-ply roof membrane, stone ballast

Condition Survey

Roof Area 19

Conditions

The roof membrane is in serviceable condition but we noted failed sealant along the perimeter counter flashings and control joints, one open corner flashing at curb and damaged corner on the precast concrete panels.



Condition Survey

Roof Area 19

Conclusions

The 5 year old stone ballasted EPDM single-ply roof system requires preventative and remedial maintenance to address the failed sealant along the perimeters and walls, open corner flashing and spalled concrete corner to ensure it performs throughout the remainder of its 18 year designed service life.

The installed roof system presents the following safety and maintenance issues:

Safety

No safety concerns were observed on this roof area.

Preventative Maintenance

Engage IRS to develop an Annual Maintenance and Repair Specifications (AMRS) to address necessary preventative and remedial repairs.

Remedial Maintenance

Remedial repairs are necessary, and should be included in a future (AMRS).

Condition Survey

Roof Area 20



Construction

Steel roof decking (dead level)
Expanded polystyrene insulation (loose laid 1/8" per lineal foot)
EPDM single-ply roof membrane, stone ballast

Condition Survey

Roof Area 20

Conditions

The roof membrane is in serviceable condition but we noted failed sealant along the perimeter counter flashings and masonry wall, wind erosion and debris on the roof surface. Additionally, an electrical box has been abandoned but not properly decommissioned, exposing the wires to water.



Condition Survey

Roof Area 20

Conclusions

The 5 year old stone ballasted EPDM single-ply roof system is in serviceable condition and requires preventative maintenance to address the failed sealant and properly address the abandoned electrical box to ensure it performs throughout the remainder of its 18 year designed service life.

The installed roof system presents the following safety and maintenance issues:

Safety

No safety concerns were observed on this roof area.

Preventative Maintenance

Engage IRS to develop an Annual Maintenance and Repair Specifications (AMRS) to address necessary preventative and remedial repairs.

Remedial Maintenance

No remedial maintenance items were observed at this time.

Condition Survey

Roof Area 21



Construction

Steel decking (dead level)

Tapered expanded polystyrene insulation (loose laid 1/8" per lineal foot)

EPDM single-ply roof membrane, stone ballast

Condition Survey

Roof Area 21

Conditions

The roof system was not accessible during our survey but was viewed from the distance of Roof Area 4. The roof membrane appeared to be in serviceable condition with only minor accumulation of debris and a chair sitting on the roof membrane.



Condition Survey

Roof Area 21

Conclusions

The 5 year old stone ballasted EPDM single-ply roof system requires normal maintenance at this time to ensure it performs throughout the remainder of its 18 year designed service life.

The installed roof system presents the following safety and maintenance issues:

Safety

No safety concerns were observed on this roof area.

Preventative Maintenance

No preventative maintenance items were observed at this time.

Remedial Maintenance

No remedial maintenance items were observed at this time.

Condition Survey

Roof Area 22



Construction

- Steel roof decking (structurally sloped)
- Expanded polystyrene insulation (loose laid)
- 45-Mil EPDM single-ply roof membrane, stone ballast

Condition Survey

Roof Area 22

Conditions

The roof membrane is in serviceable condition with minor locations of displaced ballast/windblown corners and debris on the roof membrane. We also noted a location which previously received repairs.



Condition Survey

Roof Area 22

Conclusions

The 5 year old stone ballasted EPDM single-ply roof system requires preventative and normal maintenance at this time to ensure it performs throughout the remainder of its 18 year designed service life.

The installed roof system presents the following safety and maintenance issues:

Safety

No safety concerns were observed on this roof area.

Preventative Maintenance

Engage IRS to develop an Annual Maintenance and Repair Specifications (AMRS) to address necessary preventative and remedial repairs.

Remedial Maintenance

No remedial maintenance items were observed at this time.

Condition Survey

Roof Area 23



Construction

Steel roof decking (dead level)

Tapered expanded polystyrene insulation (loose laid 1/8" per lineal foot)

60-Mil EPDM single-ply roof membrane, stone ballast

Condition Survey

Roof Area 23

Conditions

The roof membrane is in good condition but we noted failed sealant along the perimeter counter flashing.



Condition Survey

Roof Area 23

Conclusions

The 5year old stone ballasted EPDM single-ply roof system requires preventative maintenance to address the failed sealant to ensure it performs throughout the remainder of its 18 year designed service life.

The installed roof system presents the following safety and maintenance issues:

Safety

No safety concerns were observed on this roof area.

Preventative Maintenance

Engage IRS to develop an Annual Maintenance and Repair Specifications (AMRS) to address necessary preventative and remedial repairs.

Remedial Maintenance

No remedial maintenance items were observed at this time.

Condition Survey

Roof Area 24



Construction

Steel roof decking (dead level)

Tapered expanded polystyrene insulation (loose laid 1/8" per lineal foot)

60-Mil EPDM single-ply roof membrane, stone ballast

Condition Survey

Roof Area 24

Conditions

The roof system is in good condition. We did not note any deficiencies of the roof membrane or components beyond minor debris on the roof system.



Condition Survey

Roof Area 24

Conclusions

The 5 year old stone ballasted EPDM single-ply roof system required any normal maintenance at this time to ensure it performs throughout the remainder of its 18 year designed service life.

The installed roof system presents the following safety and maintenance issues:

Safety

No safety concerns were observed on this roof area.

Preventative Maintenance

No preventative maintenance items were observed at this time.

Remedial Maintenance

No remedial maintenance items were observed at this time.

Condition Survey

Roof Area 25



Construction

Steel roof decking (dead level)
Tapered expanded polystyrene insulation (loose laid 1/8" per lineal foot)
60-Mil EPDM single-ply roof membrane, stone ballast

Condition Survey

Roof Area 25

Conditions

The roof membrane is in good condition however we noted failed sealant along the windows within the adjacent masonry wall, failed mortar joints and debris on the roof system.



Condition Survey

Roof Area 25

Conclusions

The 5 year old stone ballasted EPDM single-ply roof system requires preventative and remedial maintenance to address the failed sealants and mortar joints to ensure it performs throughout the remainder of its 18 year designed service life.

The installed roof system presents the following safety and maintenance issues:

Safety

No safety concerns were observed on this roof area.

Preventative Maintenance

Engage IRS to develop an Annual Maintenance and Repair Specifications (AMRS) to address necessary preventative and remedial repairs.

Remedial Maintenance

Remedial repairs are necessary, and should be included in a future (AMRS).

Condition Survey

Roof Area 26



Construction

Steel roof decking (dead level)

Tapered expanded polystyrene insulation (loose laid 1/8" per lineal foot)

60-Mil EPDM single-ply roof membrane, stone ballast

Condition Survey

Roof Area 26

Conditions

The roof membrane is in serviceable condition with isolated locations of debris and glass on the roof surface.



Condition Survey

Roof Area 26

Conclusions

The 6 year old stone ballasted EPDM single-ply roof system requires normal maintenance at this time to ensure it performs throughout the remainder of its 18 year designed service life.

The installed roof system presents the following safety and maintenance issues:

Safety

No safety concerns were observed on this roof area.

Preventative Maintenance

No preventative maintenance items were observed at this time.

Remedial Maintenance

No remedial maintenance items were observed at this time.

Condition Survey

Roof Area 27



Construction

Steel roof decking

Tapered expanded polystyrene insulation (loose laid 1/8" per lineal foot)

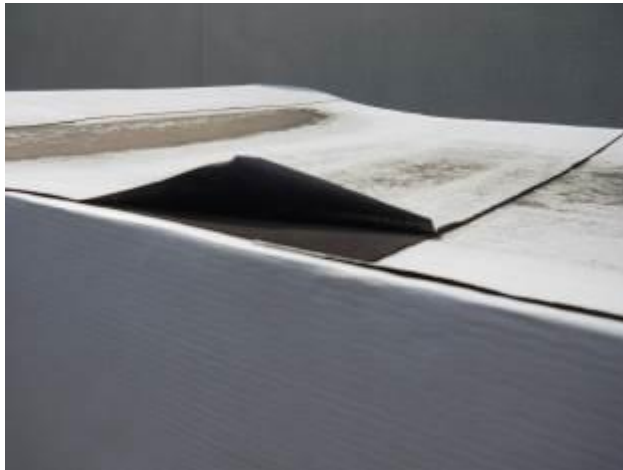
45-Mil EPDM single-ply roof membrane, stone ballast

Condition Survey

Roof Area 27

Conditions

The roof membrane is in serviceable condition with areas of debris on the roof surface and displaced ballast. We also noted failed duct wrap around the HVAC duct work, deteriorated pitch pans, conduit pipe supports lack proper membrane protection and failed sealant in the construction joints of the precast wall panels.



Condition Survey

Roof Area 27

Conclusions

The 6 year old stone ballasted EPDM single-ply roof system requires preventative and normal maintenance at this time to ensure it performs throughout the remainder of its 18 year designed service life.

The installed roof system presents the following safety and maintenance issues:

Safety

No safety concerns were observed on this roof area.

Preventative Maintenance

Engage IRS to develop an Annual Maintenance and Repair Specifications (AMRS) to address necessary preventative and remedial repairs.

Remedial Maintenance

No remedial maintenance items were observed at this time.

Condition Survey

Roof Area 28



Construction

Steel roof decking

Tapered expanded polystyrene insulation (1/8" per lineal foot)

60-Mil EPDM single-ply roof membrane, stone ballast

Condition Survey

Roof Area 28

Conditions

The roof membrane is in serviceable condition with minor shrinkage noted along the perimeter flashings and debris accumulation. We also noted failed sealant along the ladder supports, the lack of a rain cap on pipe vent and an area of precast concrete wall panel that is damaged.



Condition Survey

Roof Area 28

Conclusions

The 6 year old stone ballasted EPDM single-ply roof system requires preventative and remedial maintenance at this time to ensure it performs throughout the remainder of its 18 year designed service life.

The installed roof system presents the following safety and maintenance issues:

Safety

No safety concerns were observed on this roof area.

Preventative Maintenance

Engage IRS to develop an Annual Maintenance and Repair Specifications (AMRS) to address necessary preventative and remedial repairs.

Remedial Maintenance

Remedial repairs are necessary, and should be included in a future (AMRS).

Condition Survey

Roof Area 29



Construction

Steel roof decking

Rigid insulation (mechanically-attached)

60-Mil EPDM single-ply roof membrane, fully-adhered

Condition Survey

Roof Area 29

Conditions

The roof membrane is in serviceable condition with several locations of fasteners backing out, membrane shrinkage, open corner flashings, debris on the roof surface and loose duct wrap.



Condition Survey

Roof Area 29

Conclusions

The 6 year old stone ballasted EPDM single-ply roof system requires preventative and remedial maintenance at this time to ensure it performs throughout the remainder of its 18 year designed service life

The installed roof system presents the following safety and maintenance issues:

Safety

No safety concerns were observed on this roof area.

Preventative Maintenance

Engage IRS to develop an Annual Maintenance and Repair Specifications (AMRS) to address necessary preventative and remedial repairs.

Remedial Maintenance

Remedial repairs are necessary, and should be included in a future (AMRS).

Condition Survey

Roof Area 30



Construction

Steel roof decking

Tapered expanded polystyrene insulation (loose laid 1/8" per lineal foot)

60-Mil EPDM single-ply roof membrane, stone ballast

Condition Survey

Roof Area 30

Conditions

The roof system is in good condition. We did not note any deficiencies of the roof system during our survey.



Condition Survey

Roof Area 30

Conclusions

The 6 year old stone ballasted single-ply roof system does not require any preventative maintenance at this time but should continue to receive normal maintenance on a yearly basis, to ensure it performs throughout the remainder of its 18 year designed service life.

The installed roof system presents the following safety and maintenance issues:

Safety

No safety concerns were observed on this roof area.

Preventative Maintenance

No preventative maintenance items were observed at this time.

Remedial Maintenance

No remedial maintenance items were observed at this time.

Condition Survey

Roof Area 31



Construction

- Steel roof decking (dead level)
- Rigid insulation (mechanically-attached)
- 60-Mil EPDM single-ply roof membrane, fully-adhered

Condition Survey

Roof Area 31

Conditions

The roof membrane is in good condition with only minor accumulation of debris on the roof surface and minor shrinkage noted along the expansion joint. We also noted failed sealant along the counter flashing and precast concrete wall panels.



Condition Survey

Roof Area 31

Conclusions

The 6 year old fully-adhered EPDM single-ply roof system requires preventative maintenance to address the failed sealant at this time to ensure it performs throughout the remainder of its 20 year designed service life.

The installed roof system presents the following safety and maintenance issues:

Safety

No safety concerns were observed on this roof area.

Preventative Maintenance

Engage IRS to develop an Annual Maintenance and Repair Specifications (AMRS) to address necessary preventative and remedial repairs.

Remedial Maintenance

No remedial maintenance items were observed at this time.

Condition Survey

Roof Area 32



Construction

Precast concrete roof decking (dead level)
Rigid board insulation (mopped)
Asphalt built-up roof membrane
Flood coat and gravel surface

Condition Survey

Roof Area 32

Conditions

The roof membrane is in serviceable condition with evidence of ponding water noted near an internal roof drain and debris on the roof surface. Additionally we noted failed sealant along the perimeter counter flashings and wall systems and a ventilation hood not secured to its curb.



Condition Survey

Roof Area 32

Conclusions

The asphalt built-up roof system requires preventative and normal maintenance at this time to ensure it performs throughout the remainder of its 25 year designed service life.

The installed roof system presents the following safety and maintenance issues:

Safety

No safety concerns were observed on this roof area.

Preventative Maintenance

Engage IRS to develop an Annual Maintenance and Repair Specifications (AMRS) to address necessary preventative and remedial repairs.

Remedial Maintenance

No remedial maintenance items were observed at this time.

Condition Survey

Roof Area 33



Construction

Steel roof decking
Expanded polystyrene insulation
60-Mil EPDM single-ply roof membrane, stone ballast

Condition Survey

Roof Area 33

Conditions

The roof membrane is in good condition with only an isolated area of construction debris on the membrane. Additionally, we noted failed sealant applied along the perimeter counter flashings and a failed mortar joint.



Condition Survey

Roof Area 33

Conclusions

The 6 year old stone ballasted EPDM single-ply roof system requires preventative maintenance address the failed sealant along the perimeters to ensure it performs throughout the remainder of its 18 year designed service life.

The installed roof system presents the following safety and maintenance issues:

Safety

No safety concerns were observed on this roof area.

Preventative Maintenance

Engage IRS to develop an Annual Maintenance and Repair Specifications (AMRS) to address necessary preventative and remedial repairs.

Remedial Maintenance

No remedial maintenance items were observed at this time.

Condition Survey

Roof Area 34



Construction

Steel roof decking
Expanded polystyrene insulation
60-Mil EPDM single-ply roof membrane, stone ballast

Condition Survey

Roof Area 34

Conditions

The roof system is in good condition with only minor accumulation of stone ballast around the sump pans of the internal roof drains.



Condition Survey

Roof Area 34

Conclusions

The 6 year old stone ballasted EPDM single-ply roof system does not require any preventative maintenance but should continue to receive normal maintenance on a yearly basis, to ensure it performs throughout the remainder of its 18 year designed service life.

The installed roof system presents the following safety and maintenance issues:

Safety

No safety concerns were observed on this roof area.

Preventative Maintenance

No preventative maintenance items were observed at this time.

Remedial Maintenance

No remedial maintenance items were observed at this time.

Condition Survey

Roof Area 35



Construction

Roof decking (unknown)
Rigid insulation
EPDM single-ply roof membrane, stone ballast

Condition Survey

Roof Area 35

Conditions

The roof system is in good condition with the only deficiencies noted was minor displaced ballasted and debris on the roof system. Additionally, we noted cracking in the concrete sill and failed sealant along the perimeter of a window adjacent to the roof system.



Condition Survey

Roof Area 35

Conclusions

The stone ballasted EPDM single-ply roof system requires any normal maintenance at this time to ensure it performs throughout the remainder of its 18 year designed service life.

The installed roof system presents the following safety and maintenance issues:

Safety

No safety concerns were observed on this roof area.

Preventative Maintenance

No preventative maintenance items were observed at this time.

Remedial Maintenance

No remedial maintenance items were observed at this time.

Report Conclusions

Design Service Life	
EPDM Single-ply, Ballasted	18 years
EPDM Single-ply, Fully-adhered	20 years
2-ply & SBS Modified bitumen	20 years
Concrete Deck, liquid applied coating	30+ years
Asphalt Built-up Roof	25 years

EPDM Single-Ply

The EPDM single-ply roof systems installed on twenty (20) of the thirty-four (35) roof areas range in age from five (5) to nine (9) years old. The roof systems are in serviceable condition and a majority of them remain covered under an active manufacturer's warranty. Provided these roof systems receive timely preventative maintenance, followed by proactive annual maintenance, they should be capable of performing properly through the duration of their design service life, or beyond.

2-ply and Modified Bitumen

The modified bitumen roof system installed on Roof Area 4 is approximately twenty-two (23) years old and is no longer covered under any active warranties. Although it is nearing the end of its design service life, it remains in serviceable condition and is believed to be capable of performing for an additional 3 to 5 years provided it receives timely preventative and remedial maintenance followed by proactive annual maintenance. Ownership should plan and budget for replacement in 2018.

In addition to completing preventative maintenance repairs, this roof system should continue to be closely monitored in order to ensure its ability perform until the scheduled replacement date, as sudden failure of roof systems pushed beyond their design service life can require replacement within 12-24 months. Close monitoring will also reveal whether the roof system is capable of performing even further beyond its scheduled replacement date.

Asphalt Built-up Roof, Gravel Surface

The asphalt built-up roof systems installed on thirteen (13) of the thirty-four (35) roof areas range in age from three (3) to fourteen (14) years old. The roof systems range from good to serviceable condition and a majority of them remain covered under an active manufacturer's warranty. Provided these roof systems receive timely preventative maintenance, followed by proactive annual maintenance, they should be capable of performing properly through the duration of their design service life, or beyond.

5 YEAR MAINTENANCE PROJECTIONS

Year	Roof Area	Required Maintenance	Estimated Cost
2014	All	Preventative & Remedial Repairs	\$18,450
2015	All	Normal Maintenance	\$1,800
2016	All	Normal Maintenance	\$1,800
2017	All	Normal Maintenance	\$1,800
2018	All	Normal Maintenance	\$1,800
2019	All	Normal Maintenance	\$1,800

5 YEAR CAPITAL PROJECTIONS

Year	Roof Area	Work Required	Estimated Cost
2014	All	No Capital	\$0
2015	All	No Capital	\$0
2016	All	No Capital	\$0
2017	All	No Capital	\$0
2018	4	Replacement	\$162,000
2019	All	No Capital	\$0

APPENDICES

APPENDIX A: Site Statistics

APPENDIX B: Roof Plan

APPENDIX A:

SITE STATISTICS

ROOF SURVEY DATA

GENERAL INFORMATION

ROOF AREA ID #: 339 - 2165

FACILITY NAME: Menomonee Falls High School
SURVEY DATE: 6/20/2013 **NEXT SURVEY DATE:** 6/1/2015
ROOF AREA NUMBER: 01 **ROOF SIZE (Square feet):** 14,034
ROOF TRAFFIC: Light **ROOF HEIGHT (Feet):** 20
LEAK REPORTED: No **ROOF PERIMETER (Lineal feet):** 505
INTERIOR AFFECT ON ROOF: No
CONSTRUCTION ACCESS: Direct

HISTORICAL INFORMATION

ROOF INSTALLATION DATE: 2008 **SYSTEM WARRANTED:** Yes
INSTALLATION CONTRACTOR: J.T. Roofing, Inc.
WARRANTY ISSUE DATE: **EXPIRATION DATE:**
MEMBRANE MANUFACTURER: Unknown
WARRANTY NUMBER: Unknown

ROOF CONSTRUCTION

Precast concrete deck - 1/8" (per lineal foot) tapered expanded polystyrene insulation - 45 mil
EPDM single-ply roof membrane - stone ballast

NUMBER OF ROOF SYSTEMS: One **INSULATION LAYERS:** One
TOTAL INSULATION THICKNESS: 3.7" avg **TOTAL R-VALUE:** 14.81 avg

ROOFTOP PROJECTIONS/EQUIPMENT

Four abandoned square curbs - six skylights - four square curbs - three AC units on 4x4s -
three soil stacks

HVAC and A/C UNITS: 1 HVAC unit
PITCH PANS: Two

ROOF SYSTEM CONDITIONS

DECK CONDITION: Unknown
INSULATION CONDITION: Unknown
MEMBRANE CONDITION: Requires Preventative Maintenance
BASE FLASHING CONDITION: Requires Preventative Maintenance
MEMBRANE TIE-IN CONDITION: None Present
COUNTERFLASHING CONDITION: Requires Preventative Maintenance
METAL EDGE CONDITION: None Present
CAP FLASHING CONDITION: None Present
COPING CONDITION: Good Condition
GUTTER EDGE CONDITION: None Present
EXPANSION JOINT CONDITION: None Present
WALL EXP. JOINT CONDITION: Good Condition
WALL SURFACES REQUIRE ATTENTION: No
RECOMMENDATION: N.A
CONDITION COMMENTS: Failed sealant in control joints and along counterflashing. Some construction debris on roof. One hole found in corner flashing at one curb, one broken drain strainer.

WATER REMOVAL

ROOF SLOPE: 1/8 inch/foot	SLOPE METHOD: Tapered Insulation
DRAINAGE METHOD: Four drains	DRAINAGE: Fair
ADD DRAINS/NUMBER: No	ADD TAPER: Yes

TESTING RECOMMENDED

STRUCTURAL ANALYSIS: No	DEW POINT ANALYSIS: No
INFRARED SURVEY: No	ASBESTOS SAMPLING: No
ACRM RESULTS: N/A	

GENERAL COMMENTS

The roof system is in good condition having been installed in 2008 by JT Roofing. Skylights lack fall protection. 4x4 blocking requires slip sheet.

CONCLUSIONS

YEAR SCHEDULED OR PROJECTED SERVICE LIFE: 10-14

CAPITAL RECOMMENDATION: No Work Required	BUDGET: \$0.00
MAINTENANCE RECOMMENDATION: Preventative Maintenance	BUDGET: \$1,500.00

ROOF SURVEY DATA

GENERAL INFORMATION

ROOF AREA ID #: 339 - 2166

FACILITY NAME: Menomonee Falls High School
SURVEY DATE: 6/20/2013 **NEXT SURVEY DATE:** 6/1/2015
ROOF AREA NUMBER: 02 **ROOF SIZE (Square feet):** 14,711
ROOF TRAFFIC: Light **ROOF HEIGHT (Feet):** 32
LEAK REPORTED: No **ROOF PERIMETER (Lineal feet):** 490
INTERIOR AFFECT ON ROOF: No
CONSTRUCTION ACCESS: Direct

HISTORICAL INFORMATION

ROOF INSTALLATION DATE: 2009 **SYSTEM WARRANTED:** Yes
INSTALLATION CONTRACTOR: Carlson Racine Roofing & Sheet Metal, Inc.
WARRANTY ISSUE DATE: 7/28/2009 **EXPIRATION DATE:** 7/28/2019
MEMBRANE MANUFACTURER: CertainTeed Commercial Roofing
WARRANTY NUMBER: 00429408

ROOF CONSTRUCTION

Steel deck -2.5" polyisocyanurate insulation - 1/2" fiberboard insulation - 4-ply asphalt built-up roof with gravel surface

NUMBER OF ROOF SYSTEMS: One **INSULATION LAYERS:** Two
TOTAL INSULATION THICKNESS: 3" **TOTAL R-VALUE:** 18.065

ROOFTOP PROJECTIONS/EQUIPMENT

None Present

HVAC and A/C UNITS: None Present
PITCH PANS: None Present

ROOF SYSTEM CONDITIONS

DECK CONDITION: Unknown
INSULATION CONDITION: Unknown
MEMBRANE CONDITION: Requires Preventative Maintenance
BASE FLASHING CONDITION: Good Condition
MEMBRANE TIE-IN CONDITION: None Present
COUNTERFLASHING CONDITION: None Present
METAL EDGE CONDITION: None Present
CAP FLASHING CONDITION: None Present
COPING CONDITION: Requires Preventative Maintenance
GUTTER EDGE CONDITION: None Present
EXPANSION JOINT CONDITION: Good Condition
WALL EXP. JOINT CONDITION: None Present
WALL SURFACES REQUIRE ATTENTION: None Present
RECOMMENDATION: N/A
CONDITION COMMENTS: Wind erosion in SW corner. Failed sealant at coping corners. 4x4 blocking lacks slip protection

WATER REMOVAL

ROOF SLOPE: 1/4 inch/foot
DRAINAGE METHOD: Four drains
ADD DRAINS/NUMBER: No
SLOPE METHOD: Structural
DRAINAGE: Good
ADD TAPER: No

TESTING RECOMMENDED

STRUCTURAL ANALYSIS: No
INFRARED SURVEY: No
ACRM RESULTS: N/A
DEW POINT ANALYSIS: No
ASBESTOS SAMPLING: No

GENERAL COMMENTS

Good condition.

CONCLUSIONS

YEAR SCHEDULED OR PROJECTED SERVICE LIFE: 20+

CAPITAL RECOMMENDATION: No Work Required	BUDGET: \$0.00
MAINTENANCE RECOMMENDATION: Preventative Maintenance	BUDGET: \$500.00

ROOF SURVEY DATA

GENERAL INFORMATION

ROOF AREA ID #: 339 - 2167

FACILITY NAME: Menomonee Falls High School
SURVEY DATE: 6/20/2013 **NEXT SURVEY DATE:** 6/1/2015
ROOF AREA NUMBER: 03 **ROOF SIZE (Square feet):** 7,121
ROOF TRAFFIC: Light **ROOF HEIGHT (Feet):** 32
LEAK REPORTED: No **ROOF PERIMETER (Lineal feet):** 382
INTERIOR AFFECT ON ROOF: No
CONSTRUCTION ACCESS: Direct

HISTORICAL INFORMATION

ROOF INSTALLATION DATE: 2010 **SYSTEM WARRANTED:** Yes
INSTALLATION CONTRACTOR: Nations Roof
WARRANTY ISSUE DATE: 8/26/2010 **EXPIRATION DATE:** 8/26/2020
MEMBRANE MANUFACTURER: Johns-Manville Corporation
WARRANTY NUMBER: FNB121080440

ROOF CONSTRUCTION

Metal deck - 2" polyisocyanurate insulation - 1/2" fiberboard insulation - 4-ply asphalt built-up roof with gravel surface

NUMBER OF ROOF SYSTEMS: One **INSULATION LAYERS:** Two
TOTAL INSULATION THICKNESS: 2.5" **TOTAL R-VALUE:** 14.73

ROOFTOP PROJECTIONS/EQUIPMENT

Two square curbs - three soil stacks - one pipe penetration

HVAC and A/C UNITS: None Present
PITCH PANS: One

ROOF SYSTEM CONDITIONS

DECK CONDITION: Unknown
INSULATION CONDITION: Unknown
MEMBRANE CONDITION: Good Condition
BASE FLASHING CONDITION: Good Condition
MEMBRANE TIE-IN CONDITION: None Present
COUNTERFLASHING CONDITION: None Present
METAL EDGE CONDITION: None Present
CAP FLASHING CONDITION: None Present
COPING CONDITION: Good Condition
GUTTER EDGE CONDITION: None Present
EXPANSION JOINT CONDITION: Good Condition
WALL EXP. JOINT CONDITION: None Present
WALL SURFACES REQUIRE ATTENTION: None Present
RECOMMENDATION: N/A
CONDITION COMMENTS: Good condition

WATER REMOVAL

ROOF SLOPE: 1/4 inch/foot
DRAINAGE METHOD: Two drains
ADD DRAINS/NUMBER: No

SLOPE METHOD: Structural
DRAINAGE: Good
ADD TAPER: No

TESTING RECOMMENDED

STRUCTURAL ANALYSIS: No
INFRARED SURVEY: No
ACRM RESULTS: N/A

DEW POINT ANALYSIS: No
ASBESTOS SAMPLING: No

GENERAL COMMENTS

None.

CONCLUSIONS

YEAR SCHEDULED OR PROJECTED SERVICE LIFE: 20+

CAPITAL RECOMMENDATION: No Work Required

BUDGET: \$0.00

MAINTENANCE RECOMMENDATION: Normal Maintenance

BUDGET: \$100.00

ROOF SURVEY DATA

GENERAL INFORMATION

ROOF AREA ID #: 339 - 2168

FACILITY NAME: Menomonee Falls High School
SURVEY DATE: 6/20/2013 **NEXT SURVEY DATE:** 6/1/2015
ROOF AREA NUMBER: 04 **ROOF SIZE (Square feet):** 11,360
ROOF TRAFFIC: Light **ROOF HEIGHT (Feet):** 25
LEAK REPORTED: No **ROOF PERIMETER (Lineal feet):** 432
INTERIOR AFFECT ON ROOF: No
CONSTRUCTION ACCESS: Direct

HISTORICAL INFORMATION

ROOF INSTALLATION DATE: 1990 **SYSTEM WARRANTED:** No
INSTALLATION CONTRACTOR: Dehling-Voigt, Inc.
WARRANTY ISSUE DATE: 6/1/1990 **EXPIRATION DATE:** 6/1/2000
MEMBRANE MANUFACTURER: GAF Building Materials Corporation
WARRANTY NUMBER: CMN-RL10-429

ROOF CONSTRUCTION

Steel deck - 15/16" fiberglass insulation - 2-ply vapor retarder - 1" polyisocyanurate insulation - 1/2" fiberboard insulation - 2-ply & SBS modified bitumen roof membrane with gravel surface

NUMBER OF ROOF SYSTEMS: One **INSULATION LAYERS:** Three
TOTAL INSULATION THICKNESS: 2.4" **TOTAL R-VALUE:** 11.81

ROOFTOP PROJECTIONS/EQUIPMENT

Two soil stacks - one roof hatch - one square curb - two vent pipes

HVAC and A/C UNITS: None Present
PITCH PANS: None Present

ROOF SYSTEM CONDITIONS

DECK CONDITION: Unknown
INSULATION CONDITION: Unknown
MEMBRANE CONDITION: Requires Preventative Maintenance
BASE FLASHING CONDITION: Requires Preventative Maintenance
MEMBRANE TIE-IN CONDITION: None Present
COUNTERFLASHING CONDITION: Requires Preventative Maintenance
METAL EDGE CONDITION: None Present
CAP FLASHING CONDITION: None Present
COPING CONDITION: Good Condition
GUTTER EDGE CONDITION: None Present
EXPANSION JOINT CONDITION: None Present
WALL EXP. JOINT CONDITION: None Present
WALL SURFACES REQUIRE ATTENTION: No
RECOMMENDATION: N/A
CONDITION COMMENTS: Failed sealant in the control joints and on the counterflashing. Debris on the roof. The roof membrane is blistering/ridging. Open base flashing of roof hatch

WATER REMOVAL

ROOF SLOPE: 1/4 inch/foot	SLOPE METHOD: Structural
DRAINAGE METHOD: Four drains	DRAINAGE: Fair
ADD DRAINS/NUMBER: No	ADD TAPER: Saddles Only

TESTING RECOMMENDED

STRUCTURAL ANALYSIS: No	DEW POINT ANALYSIS: No
INFRARED SURVEY: No	ASBESTOS SAMPLING: No
ACRM RESULTS: N/A	

GENERAL COMMENTS

Scuttle is unused.

CONCLUSIONS

YEAR SCHEDULED OR PROJECTED SERVICE LIFE: 2018

CAPITAL RECOMMENDATION: Replacement	BUDGET: \$162,000.00
MAINTENANCE RECOMMENDATION: Preventative Maintenance	BUDGET: \$2,000.00

ROOF SURVEY DATA

GENERAL INFORMATION

ROOF AREA ID #: 339 - 2169

FACILITY NAME: Menomonee Falls High School
SURVEY DATE: 6/20/2013 **NEXT SURVEY DATE:** 6/1/2015
ROOF AREA NUMBER: 05 **ROOF SIZE (Square feet):** 35
ROOF TRAFFIC: None **ROOF HEIGHT (Feet):** 16
LEAK REPORTED: No **ROOF PERIMETER (Lineal feet):** 27
INTERIOR AFFECT ON ROOF: No
CONSTRUCTION ACCESS: Direct

HISTORICAL INFORMATION

ROOF INSTALLATION DATE: Unknown **SYSTEM WARRANTED:** No
INSTALLATION CONTRACTOR: Unknown
WARRANTY ISSUE DATE: **EXPIRATION DATE:**
MEMBRANE MANUFACTURER: N/A
WARRANTY NUMBER: N/A

ROOF CONSTRUCTION

Poured concrete deck - liquid applied coating

NUMBER OF ROOF SYSTEMS: One **INSULATION LAYERS:** None
TOTAL INSULATION THICKNESS: N/A **TOTAL R-VALUE:** N/A

ROOFTOP PROJECTIONS/EQUIPMENT

None

HVAC and A/C UNITS: None Present
PITCH PANS: None Present

ROOF SYSTEM CONDITIONS

DECK CONDITION: Unknown
INSULATION CONDITION: N/A
MEMBRANE CONDITION: Requires Preventative Maintenance
BASE FLASHING CONDITION: None Present
MEMBRANE TIE-IN CONDITION: None Present
COUNTERFLASHING CONDITION: None Present
METAL EDGE CONDITION: None Present
CAP FLASHING CONDITION: None Present
COPING CONDITION: None Present
GUTTER EDGE CONDITION: None Present
EXPANSION JOINT CONDITION: None Present
WALL EXP. JOINT CONDITION: None Present
WALL SURFACES REQUIRE ATTENTION: No
RECOMMENDATION: N/A
CONDITION COMMENTS: Liquid coating is deteriorated and there is a lot of organic and inorganic debris on roof.

WATER REMOVAL

ROOF SLOPE: Dead level
DRAINAGE METHOD: One drain
ADD DRAINS/NUMBER: No
SLOPE METHOD: N/A
DRAINAGE: Poor
ADD TAPER: No

TESTING RECOMMENDED

STRUCTURAL ANALYSIS: No
INFRARED SURVEY: No
ACRM RESULTS: N/A
DEW POINT ANALYSIS: No
ASBESTOS SAMPLING: No

GENERAL COMMENTS

Roof is in fair condition but requires some minor preventative maintenance.

CONCLUSIONS

YEAR SCHEDULED OR PROJECTED SERVICE LIFE: 10-14

CAPITAL RECOMMENDATION: No Work Required	BUDGET:	\$0.00
MAINTENANCE RECOMMENDATION: Preventative Maintenance	BUDGET:	\$800.00

ROOF SURVEY DATA

GENERAL INFORMATION

ROOF AREA ID #: 339 - 2170

FACILITY NAME: Menomonee Falls High School
SURVEY DATE: 6/20/2013 **NEXT SURVEY DATE:** 6/1/2015
ROOF AREA NUMBER: 06 **ROOF SIZE (Square feet):** 8,266
ROOF TRAFFIC: Light **ROOF HEIGHT (Feet):** 16
LEAK REPORTED: No **ROOF PERIMETER (Lineal feet):** 436
INTERIOR AFFECT ON ROOF: No
CONSTRUCTION ACCESS: Direct

HISTORICAL INFORMATION

ROOF INSTALLATION DATE: 1999 **SYSTEM WARRANTED:** No
INSTALLATION CONTRACTOR: Robert's Roofing and Siding, Inc.
WARRANTY ISSUE DATE: 8/13/1999 **EXPIRATION DATE:** 8/13/2009
MEMBRANE MANUFACTURER: GAF Building Materials Corporation
WARRANTY NUMBER: CPGL10-2705

ROOF CONSTRUCTION

Precast concrete deck - 1/8" (per lineal foot) tapered polyisocyanurate insulation - 1/2" fiberboard insulation - 4-ply asphalt built-up roof membrane with gravel surface

NUMBER OF ROOF SYSTEMS: One **INSULATION LAYERS:** Three
TOTAL INSULATION THICKNESS: 4" avg **TOTAL R-VALUE:** 24.94 avg

ROOFTOP PROJECTIONS/EQUIPMENT

One square curb - one pipe vent - four soil stacks

HVAC and A/C UNITS: None Present
PITCH PANS: Two

ROOF SYSTEM CONDITIONS

DECK CONDITION: Unknown
INSULATION CONDITION: Unknown
MEMBRANE CONDITION: Good Condition
BASE FLASHING CONDITION: Requires Preventative Maintenance
MEMBRANE TIE-IN CONDITION: None Present
COUNTERFLASHING CONDITION: Requires Preventative Maintenance
METAL EDGE CONDITION: None Present
CAP FLASHING CONDITION: None Present
COPING CONDITION: Good Condition
GUTTER EDGE CONDITION: None Present
EXPANSION JOINT CONDITION: Good Condition
WALL EXP. JOINT CONDITION: Good Condition
WALL SURFACES REQUIRE ATTENTION: No
RECOMMENDATION: N/A
CONDITION COMMENTS: Failed sealant along counter flashing. Open base flashing. Coping damaged in two locations, debris around drains and on roof.

WATER REMOVAL

ROOF SLOPE: 1/8 inch/foot	SLOPE METHOD: Tapered Insulation
DRAINAGE METHOD: Four drains	DRAINAGE: Fair
ADD DRAINS/NUMBER: No	ADD TAPER: Saddles Only

TESTING RECOMMENDED

STRUCTURAL ANALYSIS: No	DEW POINT ANALYSIS: No
INFRARED SURVEY: No	ASBESTOS SAMPLING: No
ACRM RESULTS: N/A	

GENERAL COMMENTS

Roof requires preventative maintenance to facilitate its proper performance through the duration of its design service life

CONCLUSIONS

YEAR SCHEDULED OR PROJECTED SERVICE LIFE: 10-14

CAPITAL RECOMMENDATION: No Work Required	BUDGET: \$0.00
MAINTENANCE RECOMMENDATION: Preventative Maintenance	BUDGET: \$1,500.00

ROOF SURVEY DATA

GENERAL INFORMATION

ROOF AREA ID #: 339 - 2171

FACILITY NAME: Menomonee Falls High School
SURVEY DATE: 6/20/2013 **NEXT SURVEY DATE:** 6/1/2015
ROOF AREA NUMBER: 07 **ROOF SIZE (Square feet):** 3,546
ROOF TRAFFIC: Light **ROOF HEIGHT (Feet):** 16
LEAK REPORTED: No **ROOF PERIMETER (Lineal feet):** 254
INTERIOR AFFECT ON ROOF: No
CONSTRUCTION ACCESS: Direct

HISTORICAL INFORMATION

ROOF INSTALLATION DATE: 2010 **SYSTEM WARRANTED:** Yes
INSTALLATION CONTRACTOR: Nations Roof
WARRANTY ISSUE DATE: 8/26/2010 **EXPIRATION DATE:** 8/26/2020
MEMBRANE MANUFACTURER: Johns-Manville Corporation
WARRANTY NUMBER: FNB121080440

ROOF CONSTRUCTION

Concrete deck - tapered polyisocyanurate insulation - 1/2" fiberboard insulation - 4-ply asphalt built-up roof with gravel surface

NUMBER OF ROOF SYSTEMS: One **INSULATION LAYERS:** Two
TOTAL INSULATION THICKNESS: Varies **TOTAL R-VALUE:** Varies

ROOFTOP PROJECTIONS/EQUIPMENT

None Present

HVAC and A/C UNITS: None Present
PITCH PANS: None Present

ROOF SYSTEM CONDITIONS

DECK CONDITION: Unknown
INSULATION CONDITION: Unknown
MEMBRANE CONDITION: Good Condition
BASE FLASHING CONDITION: Good Condition
MEMBRANE TIE-IN CONDITION: None Present
COUNTERFLASHING CONDITION: Good Condition
METAL EDGE CONDITION: None Present
CAP FLASHING CONDITION: None Present
COPING CONDITION: Good Condition
GUTTER EDGE CONDITION: None Present
EXPANSION JOINT CONDITION: Good Condition
WALL EXP. JOINT CONDITION: None Present
WALL SURFACES REQUIRE ATTENTION: No
RECOMMENDATION: N/A
CONDITION COMMENTS: Debris at one roof drain. One broken drain bonnet. Sealant is failed at coping corners.

WATER REMOVAL

ROOF SLOPE: 1/8 inch/foot
DRAINAGE METHOD: Two drains
ADD DRAINS/NUMBER: No
SLOPE METHOD: Tapered Insulation
DRAINAGE: Good
ADD TAPER: No

TESTING RECOMMENDED

STRUCTURAL ANALYSIS: No
INFRARED SURVEY: No
ACRM RESULTS: N/A
DEW POINT ANALYSIS: No
ASBESTOS SAMPLING: No

GENERAL COMMENTS

Roof replaced in 2010 by Nations Roof.

CONCLUSIONS

YEAR SCHEDULED OR PROJECTED SERVICE LIFE: 20+

CAPITAL RECOMMENDATION: No Work Required	BUDGET: \$0.00
MAINTENANCE RECOMMENDATION: Preventative Maintenance	BUDGET: \$600.00

ROOF SURVEY DATA

GENERAL INFORMATION

ROOF AREA ID #: 339 - 2172

FACILITY NAME: Menomonee Falls High School
SURVEY DATE: 6/20/2013 **NEXT SURVEY DATE:** 6/1/2015
ROOF AREA NUMBER: 08 **ROOF SIZE (Square feet):** 15,931
ROOF TRAFFIC: Moderate **ROOF HEIGHT (Feet):** 35
LEAK REPORTED: No **ROOF PERIMETER (Lineal feet):** 565
INTERIOR AFFECT ON ROOF: No
CONSTRUCTION ACCESS: Direct

HISTORICAL INFORMATION

ROOF INSTALLATION DATE: 2000 **SYSTEM WARRANTED:** No
INSTALLATION CONTRACTOR: Carlson Racine Roofing & Sheet Metal, Inc.
WARRANTY ISSUE DATE: 8/28/2000 **EXPIRATION DATE:** 8/28/2010
MEMBRANE MANUFACTURER: Johns-Manville Corporation
WARRANTY NUMBER: FOB0789582

ROOF CONSTRUCTION

Precast concrete deck - 1/8" (per lineal foot) tapered polyisocyanurate insulation - 1/2" fiberboard insulation - 4-ply asphalt built-up roof membrane, gravel surface

NUMBER OF ROOF SYSTEMS: One **INSULATION LAYERS:** Three
TOTAL INSULATION THICKNESS: 5.2" **TOTAL R-VALUE:** 32.52 avg

ROOFTOP PROJECTIONS/EQUIPMENT

One square curbs - five soil stacks - five abandoned square curbs

HVAC and A/C UNITS: None Present
PITCH PANS: None Present

ROOF SYSTEM CONDITIONS

DECK CONDITION: Unknown
INSULATION CONDITION: Unknown
MEMBRANE CONDITION: Good Condition
BASE FLASHING CONDITION: Requires Preventative Maintenance
MEMBRANE TIE-IN CONDITION: None Present
COUNTERFLASHING CONDITION: Good Condition
METAL EDGE CONDITION: None Present
CAP FLASHING CONDITION: None Present
COPING CONDITION: Requires Preventative Maintenance
GUTTER EDGE CONDITION: None Present
EXPANSION JOINT CONDITION: Good Condition
WALL EXP. JOINT CONDITION: None Present
WALL SURFACES REQUIRE ATTENTION: No
RECOMMENDATION: CMU and mortar cracking
CONDITION COMMENTS: Broken drain bonnet, failed sealant on copings, construction debris on roof. Failed soil stack flashing, wind blown corner (NW).

WATER REMOVAL

ROOF SLOPE: 1/8 inch/foot
DRAINAGE METHOD: Three drains
ADD DRAINS/NUMBER: No
SLOPE METHOD: Tapered Insulation
DRAINAGE: Fair
ADD TAPER: No

TESTING RECOMMENDED

STRUCTURAL ANALYSIS: No
INFRARED SURVEY: No
ACRM RESULTS: N/A
DEW POINT ANALYSIS: No
ASBESTOS SAMPLING: No

GENERAL COMMENTS

Needs aluminized coating.

CONCLUSIONS

YEAR SCHEDULED OR PROJECTED SERVICE LIFE: 10-14

CAPITAL RECOMMENDATION: No Work Required	BUDGET: \$0.00
MAINTENANCE RECOMMENDATION: Preventative Maintenance	BUDGET: \$800.00

ROOF SURVEY DATA

GENERAL INFORMATION

ROOF AREA ID #: 339 - 2173

FACILITY NAME: Menomonee Falls High School
SURVEY DATE: 6/20/2013 **NEXT SURVEY DATE:** 6/1/2015
ROOF AREA NUMBER: 09 **ROOF SIZE (Square feet):** 12,241
ROOF TRAFFIC: Moderate **ROOF HEIGHT (Feet):** 35
LEAK REPORTED: No **ROOF PERIMETER (Lineal feet):** 502
INTERIOR AFFECT ON ROOF: Yes
CONSTRUCTION ACCESS: Direct

HISTORICAL INFORMATION

ROOF INSTALLATION DATE: 2004 **SYSTEM WARRANTED:** Yes
INSTALLATION CONTRACTOR: MM Schranz Roofing, Inc.
WARRANTY ISSUE DATE: 8/10/2004 **EXPIRATION DATE:** 8/10/2014
MEMBRANE MANUFACTURER: Johns-Manville Corporation
WARRANTY NUMBER: FNB121030353

ROOF CONSTRUCTION

Precast concrete deck - 1.6" isocyanurate insulation - tapered polyisocyanurate insulation -
1/2" fiberboard insulation - 4-ply asphalt built-up roof with gravel

NUMBER OF ROOF SYSTEMS: One **INSULATION LAYERS:** Three
TOTAL INSULATION THICKNESS: 5.8" avg **TOTAL R-VALUE:** 36.66 avg

ROOFTOP PROJECTIONS/EQUIPMENT

Five soil stacks - one chimney

HVAC and A/C UNITS: None Present
PITCH PANS: None Present

ROOF SYSTEM CONDITIONS

DECK CONDITION: Unknown
INSULATION CONDITION: Unknown
MEMBRANE CONDITION: Requires Preventative Maintenance
BASE FLASHING CONDITION: Good Condition
MEMBRANE TIE-IN CONDITION: None Present
COUNTERFLASHING CONDITION: Good Condition
METAL EDGE CONDITION: None Present
CAP FLASHING CONDITION: None Present
COPING CONDITION: Good Condition
GUTTER EDGE CONDITION: None Present
EXPANSION JOINT CONDITION: Good Condition
WALL EXP. JOINT CONDITION: None Present
WALL SURFACES REQUIRE ATTENTION: No
RECOMMENDATION: N/A
CONDITION COMMENTS: Construction debris on roof and one windblown corner. Deteriorated sealant along copings.

WATER REMOVAL

ROOF SLOPE: 1/8 inch/foot
DRAINAGE METHOD: Three drains
ADD DRAINS/NUMBER: No
SLOPE METHOD: Tapered Insulation
DRAINAGE: Good
ADD TAPER: No

TESTING RECOMMENDED

STRUCTURAL ANALYSIS: No
INFRARED SURVEY: No
ACRM RESULTS: N/A
DEW POINT ANALYSIS: No
ASBESTOS SAMPLING: No

GENERAL COMMENTS

None.

CONCLUSIONS

YEAR SCHEDULED OR PROJECTED SERVICE LIFE: 15-19

CAPITAL RECOMMENDATION: No Work Required	BUDGET: \$0.00
MAINTENANCE RECOMMENDATION: Preventative Maintenance	BUDGET: \$750.00

ROOF SURVEY DATA

GENERAL INFORMATION

ROOF AREA ID #: 339 - 2174

FACILITY NAME: Menomonee Falls High School
SURVEY DATE: 6/20/2013 **NEXT SURVEY DATE:** 6/1/2015
ROOF AREA NUMBER: 10 **ROOF SIZE (Square feet):** 3,273
ROOF TRAFFIC: None **ROOF HEIGHT (Feet):** 45
LEAK REPORTED: No **ROOF PERIMETER (Lineal feet):** 229
INTERIOR AFFECT ON ROOF: Yes
CONSTRUCTION ACCESS: Multiple Lifts

HISTORICAL INFORMATION

ROOF INSTALLATION DATE: 2004 **SYSTEM WARRANTED:** Yes
INSTALLATION CONTRACTOR: MM Schranz Roofing, Inc.
WARRANTY ISSUE DATE: 8/10/2004 **EXPIRATION DATE:** 8/10/2014
MEMBRANE MANUFACTURER: Johns-Manville Corporation
WARRANTY NUMBER: FNB121030353

ROOF CONSTRUCTION

Steel deck - 1.6" polyisocyanurate insulation - tapered polyisocyanurate insulation - 1/2" fiberboard insulation - 4-ply asphalt built-up roof with gravel surface

NUMBER OF ROOF SYSTEMS: One **INSULATION LAYERS:** Three
TOTAL INSULATION THICKNESS: 5.3" avg **TOTAL R-VALUE:** 33.18 avg

ROOFTOP PROJECTIONS/EQUIPMENT

Four soil stacks

HVAC and A/C UNITS: None Present
PITCH PANS: None Present

ROOF SYSTEM CONDITIONS

DECK CONDITION: Good Condition
INSULATION CONDITION: Unknown
MEMBRANE CONDITION: Requires Preventative Maintenance
BASE FLASHING CONDITION: Good Condition
MEMBRANE TIE-IN CONDITION: None Present
COUNTERFLASHING CONDITION: None Present
METAL EDGE CONDITION: None Present
CAP FLASHING CONDITION: None Present
COPING CONDITION: Good Condition
GUTTER EDGE CONDITION: None Present
EXPANSION JOINT CONDITION: None Present
WALL EXP. JOINT CONDITION: None Present
WALL SURFACES REQUIRE ATTENTION: None Present
RECOMMENDATION: N/A
CONDITION COMMENTS: Believed sealant failure along counterflashing corners.

WATER REMOVAL

ROOF SLOPE: 1/8 inch/foot	SLOPE METHOD: Tapered Insulation
DRAINAGE METHOD: One drain	DRAINAGE: Good
ADD DRAINS/NUMBER: No	ADD TAPER: No

TESTING RECOMMENDED

STRUCTURAL ANALYSIS: No	DEW POINT ANALYSIS: No
INFRARED SURVEY: No	ASBESTOS SAMPLING: No
ACRM RESULTS: N/A	

GENERAL COMMENTS

Roof was not accesible

CONCLUSIONS

YEAR SCHEDULED OR PROJECTED SERVICE LIFE: 15-19

CAPITAL RECOMMENDATION: No Work Required	BUDGET: \$0.00
MAINTENANCE RECOMMENDATION: Preventative Maintenance	BUDGET: \$500.00

ROOF SURVEY DATA

GENERAL INFORMATION

ROOF AREA ID #: 339 - 2175

FACILITY NAME: Menomonee Falls High School
SURVEY DATE: 6/20/2013 **NEXT SURVEY DATE:** 6/1/2015
ROOF AREA NUMBER: 11 **ROOF SIZE (Square feet):** 9,991
ROOF TRAFFIC: Moderate **ROOF HEIGHT (Feet):** 35
LEAK REPORTED: No **ROOF PERIMETER (Lineal feet):** 410
INTERIOR AFFECT ON ROOF: No
CONSTRUCTION ACCESS: Direct

HISTORICAL INFORMATION

ROOF INSTALLATION DATE: 2001 **SYSTEM WARRANTED:** No
INSTALLATION CONTRACTOR: Walsdorf Roofing Company, Inc.
WARRANTY ISSUE DATE: 6/24/2001 **EXPIRATION DATE:** 6/24/2011
MEMBRANE MANUFACTURER: CertainTeed Commercial Roofing
WARRANTY NUMBER: FV10346C01

ROOF CONSTRUCTION

Precast concrete deck - tapered polyisocyanurate insulation - 1/2" fiberboard insulation - asphalt built-up roof with gravel surface

NUMBER OF ROOF SYSTEMS: One **INSULATION LAYERS:** Two
TOTAL INSULATION THICKNESS: 4.5" avg **TOTAL R-VALUE:** 28.38 avg

ROOFTOP PROJECTIONS/EQUIPMENT

Eight square curbs - three pipe vents - three soil stacks

HVAC and A/C UNITS: Two large cooling towers on stands
PITCH PANS: None Present

ROOF SYSTEM CONDITIONS

DECK CONDITION: Unknown
INSULATION CONDITION: Unknown
MEMBRANE CONDITION: Requires Preventative Maintenance
BASE FLASHING CONDITION: Requires Preventative Maintenance
MEMBRANE TIE-IN CONDITION: None Present
COUNTERFLASHING CONDITION: Good Condition
METAL EDGE CONDITION: None Present
CAP FLASHING CONDITION: None Present
COPING CONDITION: Good Condition
GUTTER EDGE CONDITION: None Present
EXPANSION JOINT CONDITION: Good Condition
WALL EXP. JOINT CONDITION: None Present
WALL SURFACES REQUIRE ATTENTION: Yes
RECOMMENDATION: Hole in pipe sealant
CONDITION COMMENTS: There is construction debris and ladders being stored on this roof. Ponding water near HVAC units. One broken drain bonnet.

WATER REMOVAL

ROOF SLOPE: 1/8 inch/foot	SLOPE METHOD: Tapered Insulation
DRAINAGE METHOD: Two drains	DRAINAGE: Poor
ADD DRAINS/NUMBER: No	ADD TAPER: No

TESTING RECOMMENDED

STRUCTURAL ANALYSIS: No	DEW POINT ANALYSIS: No
INFRARED SURVEY: No	ASBESTOS SAMPLING: No
ACRM RESULTS: N/A	

GENERAL COMMENTS

Gravel erosion at HVAC units

CONCLUSIONS

YEAR SCHEDULED OR PROJECTED SERVICE LIFE: 10-14

CAPITAL RECOMMENDATION: No Work Required	BUDGET: \$0.00
MAINTENANCE RECOMMENDATION: Preventative Maintenance	BUDGET: \$500.00

ROOF SURVEY DATA

GENERAL INFORMATION

ROOF AREA ID #: 339 - 2176

FACILITY NAME: Menomonee Falls High School
SURVEY DATE: 6/20/2013 **NEXT SURVEY DATE:** 6/1/2015
ROOF AREA NUMBER: 12 **ROOF SIZE (Square feet):** 19,577
ROOF TRAFFIC: Light **ROOF HEIGHT (Feet):** 25
LEAK REPORTED: No **ROOF PERIMETER (Lineal feet):** 840
INTERIOR AFFECT ON ROOF: Yes
CONSTRUCTION ACCESS: Direct

HISTORICAL INFORMATION

ROOF INSTALLATION DATE: 2004 **SYSTEM WARRANTED:** Yes
INSTALLATION CONTRACTOR: MM Schranz Roofing, Inc.
WARRANTY ISSUE DATE: 8/10/2004 **EXPIRATION DATE:** 8/10/2014
MEMBRANE MANUFACTURER: Johns-Manville Corporation
WARRANTY NUMBER: FNB121030353

ROOF CONSTRUCTION

Precast concrete deck - 1.6" isocyanurate insulation - tapered isocyanurate insulation - 1/2" fiberboard insulation - 4-ply asphalt built-up roof with gravel

NUMBER OF ROOF SYSTEMS: One **INSULATION LAYERS:** Three
TOTAL INSULATION THICKNESS: 6.2" avg **TOTAL R-VALUE:** 39.16 avg

ROOFTOP PROJECTIONS/EQUIPMENT

Seven square curbs - three soil stacks - one satellite dish - one vent pipe

HVAC and A/C UNITS: None Present
PITCH PANS: One

ROOF SYSTEM CONDITIONS

DECK CONDITION: Unknown
INSULATION CONDITION: Unknown
MEMBRANE CONDITION: Requires Preventative Maintenance
BASE FLASHING CONDITION: Good Condition
MEMBRANE TIE-IN CONDITION: None Present
COUNTERFLASHING CONDITION: Good Condition
METAL EDGE CONDITION: None Present
CAP FLASHING CONDITION: None Present
COPING CONDITION: Requires Preventative Maintenance
GUTTER EDGE CONDITION: None Present
EXPANSION JOINT CONDITION: None Present
WALL EXP. JOINT CONDITION: Good Condition
WALL SURFACES REQUIRE ATTENTION: Yes
RECOMMENDATION: Masonry cracked, several areas of failed mortar. Failed sealant w
CONDITION COMMENTS: Construction material is stored on roof surface. Missing fasteners along one section of coping. Bird cage loose on vent hood. Erosion near drain, deteriorated pitch pan.

WATER REMOVAL

ROOF SLOPE: 1/8 inch/foot
DRAINAGE METHOD: Ten drains
ADD DRAINS/NUMBER: No
SLOPE METHOD: Tapered Insulation
DRAINAGE: Good
ADD TAPER: No

TESTING RECOMMENDED

STRUCTURAL ANALYSIS: No
INFRARED SURVEY: No
ACRM RESULTS: N/A
DEW POINT ANALYSIS: No
ASBESTOS SAMPLING: No

GENERAL COMMENTS

Roof requires some minor preventative maintenance to facilitate its proper performance through the duration of its design service life

CONCLUSIONS

YEAR SCHEDULED OR PROJECTED SERVICE LIFE: 15-19

CAPITAL RECOMMENDATION: No Work Required	BUDGET: \$0.00
MAINTENANCE RECOMMENDATION: Preventative Maintenance	BUDGET: \$1,000.00

ROOF SURVEY DATA

GENERAL INFORMATION

ROOF AREA ID #: 339 - 2177

FACILITY NAME: Menomonee Falls High School
SURVEY DATE: 6/20/2013 **NEXT SURVEY DATE:** 6/1/2015
ROOF AREA NUMBER: 13 **ROOF SIZE (Square feet):** 34
ROOF TRAFFIC: None **ROOF HEIGHT (Feet):** 10
LEAK REPORTED: No **ROOF PERIMETER (Lineal feet):** 26
INTERIOR AFFECT ON ROOF: Yes
CONSTRUCTION ACCESS: Direct

HISTORICAL INFORMATION

ROOF INSTALLATION DATE: 2004 **SYSTEM WARRANTED:** No
INSTALLATION CONTRACTOR: MM Schranz Roofing, Inc.
WARRANTY ISSUE DATE: 8/10/2004 **EXPIRATION DATE:** 8/10/2014
MEMBRANE MANUFACTURER: Johns-Manville Corporation
WARRANTY NUMBER: FNB121030353

ROOF CONSTRUCTION

Precast concrete deck - tapered isocyanurate insulation - 1/2" fiberboard insulation - 60 mil
EPDM roof membrane, fully-adhered

NUMBER OF ROOF SYSTEMS: One **INSULATION LAYERS:** Two
TOTAL INSULATION THICKNESS: 1.3" avg **TOTAL R-VALUE:** 6.81 avg

ROOFTOP PROJECTIONS/EQUIPMENT

None Present

HVAC and A/C UNITS: None Present
PITCH PANS: None Present

ROOF SYSTEM CONDITIONS

DECK CONDITION: Unknown
INSULATION CONDITION: Unknown
MEMBRANE CONDITION: Good Condition
BASE FLASHING CONDITION: Requires Preventative Maintenance
MEMBRANE TIE-IN CONDITION: None Present
COUNTERFLASHING CONDITION: Good Condition
METAL EDGE CONDITION: None Present
CAP FLASHING CONDITION: None Present
COPING CONDITION: None Present
GUTTER EDGE CONDITION: None Present
EXPANSION JOINT CONDITION: None Present
WALL EXP. JOINT CONDITION: None Present
WALL SURFACES REQUIRE ATTENTION: No
RECOMMENDATION: N/A
CONDITION COMMENTS: Failed sealant at corner flashings

WATER REMOVAL

ROOF SLOPE: 1/4 inch/foot
DRAINAGE METHOD: Eave run-off
ADD DRAINS/NUMBER: No

SLOPE METHOD: Tapered Insulation
DRAINAGE: Good
ADD TAPER: No

TESTING RECOMMENDED

STRUCTURAL ANALYSIS: No
INFRARED SURVEY: No
ACRM RESULTS: N/A

DEW POINT ANALYSIS: No
ASBESTOS SAMPLING: No

GENERAL COMMENTS

Overall in good condition

CONCLUSIONS

YEAR SCHEDULED OR PROJECTED SERVICE LIFE: 10-14

CAPITAL RECOMMENDATION: No Work Required

BUDGET: \$0.00

MAINTENANCE RECOMMENDATION: No Work Required

BUDGET: \$300.00

ROOF SURVEY DATA

GENERAL INFORMATION

ROOF AREA ID #: 339 - 2178

FACILITY NAME: Menomonee Falls High School
SURVEY DATE: 6/20/2013 **NEXT SURVEY DATE:** 6/1/2015
ROOF AREA NUMBER: 14 **ROOF SIZE (Square feet):** 34
ROOF TRAFFIC: None **ROOF HEIGHT (Feet):** 10
LEAK REPORTED: No **ROOF PERIMETER (Lineal feet):** 25
INTERIOR AFFECT ON ROOF: No
CONSTRUCTION ACCESS: Direct

HISTORICAL INFORMATION

ROOF INSTALLATION DATE: 2004 **SYSTEM WARRANTED:** Yes
INSTALLATION CONTRACTOR: MM Schranz Roofing, Inc.
WARRANTY ISSUE DATE: 8/10/2004 **EXPIRATION DATE:** 8/14/2014
MEMBRANE MANUFACTURER: Johns-Manville Corporation
WARRANTY NUMBER: FNB121030353

ROOF CONSTRUCTION

Precast concrete deck - tapered isocyanurate insulation - 1/2" fiberboard insulation - 60 mil
EPDM roof membrane, fully-adhered

NUMBER OF ROOF SYSTEMS: One **INSULATION LAYERS:** Two
TOTAL INSULATION THICKNESS: 1.3" avg **TOTAL R-VALUE:** 6.81 avg

ROOFTOP PROJECTIONS/EQUIPMENT

None Present

HVAC and A/C UNITS: None Present
PITCH PANS: None Present

ROOF SYSTEM CONDITIONS

DECK CONDITION: Unknown
INSULATION CONDITION: Unknown
MEMBRANE CONDITION: Good Condition
BASE FLASHING CONDITION: Requires Preventative Maintenance
MEMBRANE TIE-IN CONDITION: None Present
COUNTERFLASHING CONDITION: Good Condition
METAL EDGE CONDITION: None Present
CAP FLASHING CONDITION: None Present
COPING CONDITION: None Present
GUTTER EDGE CONDITION: None Present
EXPANSION JOINT CONDITION: None Present
WALL EXP. JOINT CONDITION: None Present
WALL SURFACES REQUIRE ATTENTION: No
RECOMMENDATION: N/A
CONDITION COMMENTS: Failed sealant at corner flashings.

WATER REMOVAL

ROOF SLOPE: 1/4 inch/foot
DRAINAGE METHOD: Eave run-off
ADD DRAINS/NUMBER: No

SLOPE METHOD: Tapered Insulation
DRAINAGE: Good
ADD TAPER: No

TESTING RECOMMENDED

STRUCTURAL ANALYSIS: No
INFRARED SURVEY: No
ACRM RESULTS: N/A

DEW POINT ANALYSIS: No
ASBESTOS SAMPLING: No

GENERAL COMMENTS

None.

CONCLUSIONS

YEAR SCHEDULED OR PROJECTED SERVICE LIFE: 10-14

CAPITAL RECOMMENDATION: No Work Required

BUDGET: \$0.00

MAINTENANCE RECOMMENDATION: No Work Required

BUDGET: \$200.00

ROOF SURVEY DATA

GENERAL INFORMATION

ROOF AREA ID #: 339 - 2179

FACILITY NAME: Menomonee Falls High School
SURVEY DATE: 6/20/2013 **NEXT SURVEY DATE:** 6/1/2015
ROOF AREA NUMBER: 15 **ROOF SIZE (Square feet):** 785
ROOF TRAFFIC: None **ROOF HEIGHT (Feet):** 10
LEAK REPORTED: No **ROOF PERIMETER (Lineal feet):** 125
INTERIOR AFFECT ON ROOF: Yes
CONSTRUCTION ACCESS: Direct

HISTORICAL INFORMATION

ROOF INSTALLATION DATE: 2004 **SYSTEM WARRANTED:** No
INSTALLATION CONTRACTOR: MM Schranz Roofing, Inc.
WARRANTY ISSUE DATE: 8/10/2004 **EXPIRATION DATE:** 8/10/2014
MEMBRANE MANUFACTURER: Johns-Manville Corporation
WARRANTY NUMBER: FNB121030353

ROOF CONSTRUCTION

Steel deck - expanded polystyrene insulation - .060 EPDM eingle-ply roof membrane - stone ballast

NUMBER OF ROOF SYSTEMS: One **INSULATION LAYERS:** Unknown
TOTAL INSULATION THICKNESS: Unknown **TOTAL R-VALUE:** Unknown

ROOFTOP PROJECTIONS/EQUIPMENT

None Present

HVAC and A/C UNITS: None Present
PITCH PANS: None Present

ROOF SYSTEM CONDITIONS

DECK CONDITION: Unknown
INSULATION CONDITION: Unknown
MEMBRANE CONDITION: Good Condition
BASE FLASHING CONDITION: Good Condition
MEMBRANE TIE-IN CONDITION: None Present
COUNTERFLASHING CONDITION: Good Condition
METAL EDGE CONDITION: None Present
CAP FLASHING CONDITION: None Present
COPING CONDITION: Good Condition
GUTTER EDGE CONDITION: None Present
EXPANSION JOINT CONDITION: None Present
WALL EXP. JOINT CONDITION: None Present
WALL SURFACES REQUIRE ATTENTION: No
RECOMMENDATION: N/A
CONDITION COMMENTS: Broken drain bonnet

WATER REMOVAL

ROOF SLOPE: 1/4 inch/foot
DRAINAGE METHOD: One drain
ADD DRAINS/NUMBER: No

SLOPE METHOD: Tapered Insulation
DRAINAGE: Good
ADD TAPER: No

TESTING RECOMMENDED

STRUCTURAL ANALYSIS: No
INFRARED SURVEY: No
ACRM RESULTS: N/A

DEW POINT ANALYSIS: No
ASBESTOS SAMPLING: No

GENERAL COMMENTS

None.

CONCLUSIONS

YEAR SCHEDULED OR PROJECTED SERVICE LIFE: 10-14

CAPITAL RECOMMENDATION: No Work Required

BUDGET: \$0.00

MAINTENANCE RECOMMENDATION: Preventative Maintenance

BUDGET: \$200.00

ROOF SURVEY DATA

GENERAL INFORMATION

ROOF AREA ID #: 339 - 2180

FACILITY NAME: Menomonee Falls High School
SURVEY DATE: 6/20/2013 **NEXT SURVEY DATE:** 6/1/2015
ROOF AREA NUMBER: 16 **ROOF SIZE (Square feet):** 85
ROOF TRAFFIC: None **ROOF HEIGHT (Feet):** 10
LEAK REPORTED: No **ROOF PERIMETER (Lineal feet):** 37
INTERIOR AFFECT ON ROOF: Yes
CONSTRUCTION ACCESS: Direct

HISTORICAL INFORMATION

ROOF INSTALLATION DATE: 2004 **SYSTEM WARRANTED:** Yes
INSTALLATION CONTRACTOR: MM Schranz Roofing, Inc.
WARRANTY ISSUE DATE: 8/10/2004 **EXPIRATION DATE:** 8/10/2014
MEMBRANE MANUFACTURER: Johns-Manville Corporation
WARRANTY NUMBER: FNB121030353

ROOF CONSTRUCTION

Precast concrete deck - tapered isocyanurate insulation - 1/2" fiberboard insulation - 4-ply asphalt built-up roof with gravel surface

NUMBER OF ROOF SYSTEMS: One **INSULATION LAYERS:** Two
TOTAL INSULATION THICKNESS: 2.1" avg **TOTAL R-VALUE:** 11.81 avg

ROOFTOP PROJECTIONS/EQUIPMENT

None Present

HVAC and A/C UNITS: None Present
PITCH PANS: None Present

ROOF SYSTEM CONDITIONS

DECK CONDITION: Unknown
INSULATION CONDITION: Unknown
MEMBRANE CONDITION: Good Condition
BASE FLASHING CONDITION: Good Condition
MEMBRANE TIE-IN CONDITION: None Present
COUNTERFLASHING CONDITION: Requires Preventative Maintenance
METAL EDGE CONDITION: None Present
CAP FLASHING CONDITION: None Present
COPING CONDITION: Good Condition
GUTTER EDGE CONDITION: None Present
EXPANSION JOINT CONDITION: None Present
WALL EXP. JOINT CONDITION: None Present
WALL SURFACES REQUIRE ATTENTION: No
RECOMMENDATION: N/A
CONDITION COMMENTS: Debris on this roof. Failed sealant along perimeter counterflashing.

WATER REMOVAL

ROOF SLOPE: 1/4 inch/foot	SLOPE METHOD: Tapered Insulation
DRAINAGE METHOD: One drain	DRAINAGE: Good
ADD DRAINS/NUMBER: No	ADD TAPER: No

TESTING RECOMMENDED

STRUCTURAL ANALYSIS: No	DEW POINT ANALYSIS: No
INFRARED SURVEY: No	ASBESTOS SAMPLING: No
ACRM RESULTS: N/A	

GENERAL COMMENTS

None.

CONCLUSIONS

YEAR SCHEDULED OR PROJECTED SERVICE LIFE: 15-19

CAPITAL RECOMMENDATION: No Work Required	BUDGET: \$0.00
MAINTENANCE RECOMMENDATION: Preventative Maintenance	BUDGET: \$200.00

ROOF SURVEY DATA

GENERAL INFORMATION

ROOF AREA ID #: 339 - 2181

FACILITY NAME: Menomonee Falls High School
SURVEY DATE: 6/20/2013 **NEXT SURVEY DATE:** 6/1/2015
ROOF AREA NUMBER: 17 **ROOF SIZE (Square feet):** 14
ROOF TRAFFIC: None **ROOF HEIGHT (Feet):** 10
LEAK REPORTED: No **ROOF PERIMETER (Lineal feet):** 15
INTERIOR AFFECT ON ROOF: Yes
CONSTRUCTION ACCESS: Direct

HISTORICAL INFORMATION

ROOF INSTALLATION DATE: 2004 **SYSTEM WARRANTED:** Yes
INSTALLATION CONTRACTOR: MM Schranz Roofing, Inc.
WARRANTY ISSUE DATE: 8/10/2004 **EXPIRATION DATE:** 8/10/2014
MEMBRANE MANUFACTURER: Johns-Manville Corporation
WARRANTY NUMBER: FNB121030353

ROOF CONSTRUCTION

Precast concrete deck - tapered isocyanurate insulation - 1/2" fiberboard insulation - 4-ply asphalt built-up roof with gravel surface

NUMBER OF ROOF SYSTEMS: One **INSULATION LAYERS:** Two
TOTAL INSULATION THICKNESS: 1.4" avg **TOTAL R-VALUE:** 7.23 avg

ROOFTOP PROJECTIONS/EQUIPMENT

None Present

HVAC and A/C UNITS: None Present
PITCH PANS: None Present

ROOF SYSTEM CONDITIONS

DECK CONDITION: Unknown
INSULATION CONDITION: Unknown
MEMBRANE CONDITION: Requires Preventative Maintenance
BASE FLASHING CONDITION: Good Condition
MEMBRANE TIE-IN CONDITION: None Present
COUNTERFLASHING CONDITION: Good Condition
METAL EDGE CONDITION: None Present
CAP FLASHING CONDITION: None Present
COPING CONDITION: None Present
GUTTER EDGE CONDITION: None Present
EXPANSION JOINT CONDITION: None Present
WALL EXP. JOINT CONDITION: None Present
WALL SURFACES REQUIRE ATTENTION: No
RECOMMENDATION: N/A
CONDITION COMMENTS: Debris on roof surface.

WATER REMOVAL

ROOF SLOPE: 1/4 inch/foot
DRAINAGE METHOD: One drain
ADD DRAINS/NUMBER: No

SLOPE METHOD: Tapered Insulation
DRAINAGE: Good
ADD TAPER: No

TESTING RECOMMENDED

STRUCTURAL ANALYSIS: No
INFRARED SURVEY: No
ACRM RESULTS: N/A

DEW POINT ANALYSIS: No
ASBESTOS SAMPLING: No

GENERAL COMMENTS

None.

CONCLUSIONS

YEAR SCHEDULED OR PROJECTED SERVICE LIFE: 15-19

CAPITAL RECOMMENDATION: No Work Required

BUDGET: \$0.00

MAINTENANCE RECOMMENDATION: Preventative Maintenance

BUDGET: \$100.00

ROOF SURVEY DATA

GENERAL INFORMATION

ROOF AREA ID #: 339 - 2182

FACILITY NAME: Menomonee Falls High School
SURVEY DATE: 6/20/2013 **NEXT SURVEY DATE:** 6/1/2015
ROOF AREA NUMBER: 18 **ROOF SIZE (Square feet):** 10,356
ROOF TRAFFIC: Light **ROOF HEIGHT (Feet):** 30
LEAK REPORTED: No **ROOF PERIMETER (Lineal feet):** 500
INTERIOR AFFECT ON ROOF: Yes
CONSTRUCTION ACCESS: Direct

HISTORICAL INFORMATION

ROOF INSTALLATION DATE: 2004 **SYSTEM WARRANTED:** Yes
INSTALLATION CONTRACTOR: MM Schranz Roofing, Inc.
WARRANTY ISSUE DATE: 8/10/2004 **EXPIRATION DATE:** 8/10/2014
MEMBRANE MANUFACTURER: Johns-Manville Corporation
WARRANTY NUMBER: FNB121030353

ROOF CONSTRUCTION

Steel deck - 1.6" isocyanurate insulation - 1.6" isocyanurate insulation - 1/2" fiberboard insulation - 4-ply asphalt built-up roof with gravel surface

NUMBER OF ROOF SYSTEMS: One **INSULATION LAYERS:** Three
TOTAL INSULATION THICKNESS: 3.7" **TOTAL R-VALUE:** 22.73

ROOFTOP PROJECTIONS/EQUIPMENT

Five square curbs - one soil stack

HVAC and A/C UNITS: None Present
PITCH PANS: None Present

ROOF SYSTEM CONDITIONS

DECK CONDITION: Unknown
INSULATION CONDITION: Unknown
MEMBRANE CONDITION: Requires Preventative Maintenance
BASE FLASHING CONDITION: Good Condition
MEMBRANE TIE-IN CONDITION: None Present
COUNTERFLASHING CONDITION: None Present
METAL EDGE CONDITION: None Present
CAP FLASHING CONDITION: None Present
COPING CONDITION: Good Condition
GUTTER EDGE CONDITION: None Present
EXPANSION JOINT CONDITION: None Present
WALL EXP. JOINT CONDITION: None Present
WALL SURFACES REQUIRE ATTENTION: None Present
RECOMMENDATION: N/A
CONDITION COMMENTS: Wind erosion to the flood coat in one corners. Debris on roof surface.
Damaged hood vents.

WATER REMOVAL

ROOF SLOPE: 1/8 inch/foot
DRAINAGE METHOD: Four drains
ADD DRAINS/NUMBER: No
SLOPE METHOD: Structural
DRAINAGE: Good
ADD TAPER: No

TESTING RECOMMENDED

STRUCTURAL ANALYSIS: No
INFRARED SURVEY: No
ACRM RESULTS: N/A
DEW POINT ANALYSIS: No
ASBESTOS SAMPLING: No

GENERAL COMMENTS

None

CONCLUSIONS

YEAR SCHEDULED OR PROJECTED SERVICE LIFE: 15-19

CAPITAL RECOMMENDATION: No Work Required	BUDGET: \$0.00
MAINTENANCE RECOMMENDATION: Preventative Maintenance	BUDGET: \$1,800.00

ROOF SURVEY DATA

GENERAL INFORMATION

ROOF AREA ID #: 339 - 2E+0

FACILITY NAME: Menomonee Falls High School
SURVEY DATE: 6/20/2013 **NEXT SURVEY DATE:** 6/1/2015
ROOF AREA NUMBER: 19 **ROOF SIZE (Square feet):** 1,285
ROOF TRAFFIC: Light **ROOF HEIGHT (Feet):** 23
LEAK REPORTED: No **ROOF PERIMETER (Lineal feet):** 157
INTERIOR AFFECT ON ROOF: No
CONSTRUCTION ACCESS: Direct

HISTORICAL INFORMATION

ROOF INSTALLATION DATE: 2008 **SYSTEM WARRANTED:** Yes
INSTALLATION CONTRACTOR: J.T. Roofing, Inc.
WARRANTY ISSUE DATE: 10/10/2008 **EXPIRATION DATE:** 10/10/2018
MEMBRANE MANUFACTURER: Firestone Building Products Company
WARRANTY NUMBER: RB137252

ROOF CONSTRUCTION

Steel deck - EPS insulation - EPDM roof membrane, ballasted - no core taken

NUMBER OF ROOF SYSTEMS: One **INSULATION LAYERS:** Unknown
TOTAL INSULATION THICKNESS: Unknown **TOTAL R-VALUE:** Unknown

ROOFTOP PROJECTIONS/EQUIPMENT

One square curbs - one soil stack

HVAC and A/C UNITS: None Present
PITCH PANS: None Present

ROOF SYSTEM CONDITIONS

DECK CONDITION: Unknown
INSULATION CONDITION: Unknown
MEMBRANE CONDITION: Good Condition
BASE FLASHING CONDITION: Requires Preventative Maintenance
MEMBRANE TIE-IN CONDITION: None Present
COUNTERFLASHING CONDITION: Good Condition
METAL EDGE CONDITION: None Present
CAP FLASHING CONDITION: Good Condition
COPING CONDITION: None Present
GUTTER EDGE CONDITION: None Present
EXPANSION JOINT CONDITION: None Present
WALL EXP. JOINT CONDITION: Good Condition
WALL SURFACES REQUIRE ATTENTION: Yes
RECOMMENDATION: A corner of the wall has spalled above the roof area.
CONDITION COMMENTS: Failed sealant on counterflashing and control joint. One open corner flashing at curb.

WATER REMOVAL

ROOF SLOPE: 1/8 inch/foot
DRAINAGE METHOD: One drain
ADD DRAINS/NUMBER: No
SLOPE METHOD: Tapered Insulation
DRAINAGE: Good
ADD TAPER: No

TESTING RECOMMENDED

STRUCTURAL ANALYSIS: No
INFRARED SURVEY: No
ACRM RESULTS: N/A
DEW POINT ANALYSIS: No
ASBESTOS SAMPLING: No

GENERAL COMMENTS

Roof requires some minor preventative maintenance to facilitate its proper performance through the duration of its design service life.

CONCLUSIONS

YEAR SCHEDULED OR PROJECTED SERVICE LIFE: 10-14

CAPITAL RECOMMENDATION: No Work Required	BUDGET: \$0.00
MAINTENANCE RECOMMENDATION: Preventative Maintenance	BUDGET: \$550.00

ROOF SURVEY DATA

GENERAL INFORMATION

ROOF AREA ID #: 339 - 2E+0

FACILITY NAME: Menomonee Falls High School
SURVEY DATE: 6/20/2013 **NEXT SURVEY DATE:** 6/1/2015
ROOF AREA NUMBER: 20 **ROOF SIZE (Square feet):** 918
ROOF TRAFFIC: Light **ROOF HEIGHT (Feet):** 15
LEAK REPORTED: No **ROOF PERIMETER (Lineal feet):** 126
INTERIOR AFFECT ON ROOF: No
CONSTRUCTION ACCESS: Direct

HISTORICAL INFORMATION

ROOF INSTALLATION DATE: 2008 **SYSTEM WARRANTED:** Yes
INSTALLATION CONTRACTOR: J.T. Roofing, Inc.
WARRANTY ISSUE DATE: 10/10/2008 **EXPIRATION DATE:** 10/10/2018
MEMBRANE MANUFACTURER: Firestone Building Products Company
WARRANTY NUMBER: RB137252

ROOF CONSTRUCTION

Steel deck - EPS insulation - EPDM roof membrane, ballasted - no core taken

NUMBER OF ROOF SYSTEMS: One **INSULATION LAYERS:** Unknown
TOTAL INSULATION THICKNESS: Unknown **TOTAL R-VALUE:** Unknown

ROOFTOP PROJECTIONS/EQUIPMENT

None Present

HVAC and A/C UNITS: None Present
PITCH PANS: None Present

ROOF SYSTEM CONDITIONS

DECK CONDITION: Unknown
INSULATION CONDITION: Unknown
MEMBRANE CONDITION: Requires Preventative Maintenance
BASE FLASHING CONDITION: Good Condition
MEMBRANE TIE-IN CONDITION: None Present
COUNTERFLASHING CONDITION: Good Condition
METAL EDGE CONDITION: None Present
CAP FLASHING CONDITION: Good Condition
COPING CONDITION: None Present
GUTTER EDGE CONDITION: None Present
EXPANSION JOINT CONDITION: None Present
WALL EXP. JOINT CONDITION: Good Condition
WALL SURFACES REQUIRE ATTENTION: No
RECOMMENDATION: N/A
CONDITION COMMENTS: Some organic debris scattered on the roof surface. Minor shrinkage of base flashings. Failed sealant along counterflashing

WATER REMOVAL

ROOF SLOPE: 1/8 inch/foot	SLOPE METHOD: Tapered Insulation
DRAINAGE METHOD: One drain	DRAINAGE: Good
ADD DRAINS/NUMBER: No	ADD TAPER: No

TESTING RECOMMENDED

STRUCTURAL ANALYSIS: No	DEW POINT ANALYSIS: No
INFRARED SURVEY: No	ASBESTOS SAMPLING: No
ACRM RESULTS: N/A	

GENERAL COMMENTS

Roof requires some minor preventative maintenance to facilitate its proper performance through the duration of its design service life.

CONCLUSIONS

YEAR SCHEDULED OR PROJECTED SERVICE LIFE: 10-14

CAPITAL RECOMMENDATION: No Work Required	BUDGET: \$0.00
MAINTENANCE RECOMMENDATION: Preventative Maintenance	BUDGET: \$500.00

ROOF SURVEY DATA

GENERAL INFORMATION

ROOF AREA ID #: 339 - 2E+0

FACILITY NAME: Menomonee Falls High School
SURVEY DATE: 6/20/2013 **NEXT SURVEY DATE:** 6/1/2015
ROOF AREA NUMBER: 21 **ROOF SIZE (Square feet):** 80
ROOF TRAFFIC: Moderate **ROOF HEIGHT (Feet):** 10
LEAK REPORTED: No **ROOF PERIMETER (Lineal feet):** 39
INTERIOR AFFECT ON ROOF: No
CONSTRUCTION ACCESS: Indirect

HISTORICAL INFORMATION

ROOF INSTALLATION DATE: 2008 **SYSTEM WARRANTED:** Yes
INSTALLATION CONTRACTOR: J.T. Roofing, Inc.
WARRANTY ISSUE DATE: 10/10/2008 **EXPIRATION DATE:** 10/10/2018
MEMBRANE MANUFACTURER: Firestone Building Products Company
WARRANTY NUMBER: RB137252

ROOF CONSTRUCTION

Steel deck - EPS insulation - EPDM roof membrane, ballasted - no core taken

NUMBER OF ROOF SYSTEMS: One **INSULATION LAYERS:** Unknown
TOTAL INSULATION THICKNESS: Unknown **TOTAL R-VALUE:** Unknown

ROOFTOP PROJECTIONS/EQUIPMENT

None Present

HVAC and A/C UNITS: None Present
PITCH PANS: None Present

ROOF SYSTEM CONDITIONS

DECK CONDITION: Unknown
INSULATION CONDITION: Unknown
MEMBRANE CONDITION: Requires Preventative Maintenance
BASE FLASHING CONDITION: Good Condition
MEMBRANE TIE-IN CONDITION: None Present
COUNTERFLASHING CONDITION: Good Condition
METAL EDGE CONDITION: None Present
CAP FLASHING CONDITION: Good Condition
COPING CONDITION: None Present
GUTTER EDGE CONDITION: None Present
EXPANSION JOINT CONDITION: None Present
WALL EXP. JOINT CONDITION: None Present
WALL SURFACES REQUIRE ATTENTION: No
RECOMMENDATION: N/A
CONDITION COMMENTS: Some debris on roof surface.

WATER REMOVAL

ROOF SLOPE: 1/8 inch/foot	SLOPE METHOD: Tapered Insulation
DRAINAGE METHOD: One drain	DRAINAGE: Fair
ADD DRAINS/NUMBER: No	ADD TAPER: No

TESTING RECOMMENDED

STRUCTURAL ANALYSIS: No	DEW POINT ANALYSIS: No
INFRARED SURVEY: No	ASBESTOS SAMPLING: No
ACRM RESULTS: N/A	

GENERAL COMMENTS

None

CONCLUSIONS

YEAR SCHEDULED OR PROJECTED SERVICE LIFE: 10-14

CAPITAL RECOMMENDATION: No Work Required	BUDGET: \$0.00
MAINTENANCE RECOMMENDATION: Preventative Maintenance	BUDGET: \$100.00

ROOF SURVEY DATA

GENERAL INFORMATION

ROOF AREA ID #: 339 - 3E+0

FACILITY NAME: Menomonee Falls High School
SURVEY DATE: 6/20/2013 **NEXT SURVEY DATE:** 6/1/2015
ROOF AREA NUMBER: 22 **ROOF SIZE (Square feet):** 13,649
ROOF TRAFFIC: Light **ROOF HEIGHT (Feet):** 38
LEAK REPORTED: No **ROOF PERIMETER (Lineal feet):** 477
INTERIOR AFFECT ON ROOF: No
CONSTRUCTION ACCESS: Direct

HISTORICAL INFORMATION

ROOF INSTALLATION DATE: 2008 **SYSTEM WARRANTED:** Yes
INSTALLATION CONTRACTOR: J.T. Roofing, Inc.
WARRANTY ISSUE DATE: 10/10/2008 **EXPIRATION DATE:** 10/10/2018
MEMBRANE MANUFACTURER: Firestone Building Products Company
WARRANTY NUMBER: RB137252

ROOF CONSTRUCTION

Steel deck - rigid insulation, loose laid - .045 EPDM roof membrane, stone ballast

NUMBER OF ROOF SYSTEMS: One **INSULATION LAYERS:** Unknown
TOTAL INSULATION THICKNESS: Unknown **TOTAL R-VALUE:** Unknown

ROOFTOP PROJECTIONS/EQUIPMENT

None Present

HVAC and A/C UNITS: None Present
PITCH PANS: None Present

ROOF SYSTEM CONDITIONS

DECK CONDITION: Unknown
INSULATION CONDITION: Unknown
MEMBRANE CONDITION: Requires Preventative Maintenance
BASE FLASHING CONDITION: Good Condition
MEMBRANE TIE-IN CONDITION: None Present
COUNTERFLASHING CONDITION: None Present
METAL EDGE CONDITION: None Present
CAP FLASHING CONDITION: None Present
COPING CONDITION: Good Condition
GUTTER EDGE CONDITION: None Present
EXPANSION JOINT CONDITION: None Present
WALL EXP. JOINT CONDITION: None Present
WALL SURFACES REQUIRE ATTENTION: No
RECOMMENDATION: N/A
CONDITION COMMENTS: Sealant and duct tape has failed around the ladder mounts on this roof.
Several areas of light ballast coverage. Debris on roof

WATER REMOVAL

ROOF SLOPE: 1/4 inch/foot **SLOPE METHOD:** Structural
DRAINAGE METHOD: 6 drains & 3 overflow, 3 over **DRAINAGE:** Good
ADD DRAINS/NUMBER: No **ADD TAPER:** No

TESTING RECOMMENDED

STRUCTURAL ANALYSIS: No **DEW POINT ANALYSIS:** No
INFRARED SURVEY: No **ASBESTOS SAMPLING:** No
ACRM RESULTS: N/A

GENERAL COMMENTS

Overall roof is in good condition

CONCLUSIONS

YEAR SCHEDULED OR PROJECTED SERVICE LIFE: 10-14

CAPITAL RECOMMENDATION: No Work Required	BUDGET:	\$0.00
MAINTENANCE RECOMMENDATION: Preventative Maintenance	BUDGET:	\$200.00

ROOF SURVEY DATA

GENERAL INFORMATION

ROOF AREA ID #: 339 - 3E+0

FACILITY NAME: Menomonee Falls High School
SURVEY DATE: 6/20/2013 **NEXT SURVEY DATE:** 6/1/2015
ROOF AREA NUMBER: 23 **ROOF SIZE (Square feet):** 272
ROOF TRAFFIC: None **ROOF HEIGHT (Feet):** 32
LEAK REPORTED: No **ROOF PERIMETER (Lineal feet):** 72
INTERIOR AFFECT ON ROOF: No
CONSTRUCTION ACCESS: Direct

HISTORICAL INFORMATION

ROOF INSTALLATION DATE: 2008 **SYSTEM WARRANTED:** Yes
INSTALLATION CONTRACTOR: J.T. Roofing, Inc.
WARRANTY ISSUE DATE: 10/10/2008 **EXPIRATION DATE:** 10/10/2018
MEMBRANE MANUFACTURER: Firestone Building Products Company
WARRANTY NUMBER: RB137252

ROOF CONSTRUCTION

Steel roof deck - tapered expanded polystyrene insulation, loose laid - EPDM roof membrane, stone ballasted

NUMBER OF ROOF SYSTEMS: One **INSULATION LAYERS:** Unknown
TOTAL INSULATION THICKNESS: Unknown **TOTAL R-VALUE:** Unknown

ROOFTOP PROJECTIONS/EQUIPMENT

None Present

HVAC and A/C UNITS: None Present
PITCH PANS: None Present

ROOF SYSTEM CONDITIONS

DECK CONDITION: Unknown
INSULATION CONDITION: Unknown
MEMBRANE CONDITION: Requires Preventative Maintenance
BASE FLASHING CONDITION: Good Condition
MEMBRANE TIE-IN CONDITION: None Present
COUNTERFLASHING CONDITION: Good Condition
METAL EDGE CONDITION: None Present
CAP FLASHING CONDITION: None Present
COPING CONDITION: Good Condition
GUTTER EDGE CONDITION: None Present
EXPANSION JOINT CONDITION: None Present
WALL EXP. JOINT CONDITION: None Present
WALL SURFACES REQUIRE ATTENTION: No
RECOMMENDATION: N/A
CONDITION COMMENTS: Debris on roof

WATER REMOVAL

ROOF SLOPE: 1/8 inch/foot	SLOPE METHOD: Structural
DRAINAGE METHOD: One drain	DRAINAGE: Good
ADD DRAINS/NUMBER: No	ADD TAPER: No

TESTING RECOMMENDED

STRUCTURAL ANALYSIS: No	DEW POINT ANALYSIS: No
INFRARED SURVEY: No	ASBESTOS SAMPLING: No
ACRM RESULTS: N/A	

GENERAL COMMENTS

None

CONCLUSIONS

YEAR SCHEDULED OR PROJECTED SERVICE LIFE: 10-14

CAPITAL RECOMMENDATION: No Work Required	BUDGET: \$0.00
MAINTENANCE RECOMMENDATION: Preventative Maintenance	BUDGET: \$200.00

ROOF SURVEY DATA

GENERAL INFORMATION

ROOF AREA ID #: 339 - 3E+0

FACILITY NAME: Menomonee Falls High School
SURVEY DATE: 6/20/2013 **NEXT SURVEY DATE:** 6/1/2015
ROOF AREA NUMBER: 24 **ROOF SIZE (Square feet):** 966
ROOF TRAFFIC: None **ROOF HEIGHT (Feet):** 28
LEAK REPORTED: No **ROOF PERIMETER (Lineal feet):** 125
INTERIOR AFFECT ON ROOF: No
CONSTRUCTION ACCESS: Direct

HISTORICAL INFORMATION

ROOF INSTALLATION DATE: 2008 **SYSTEM WARRANTED:** Yes
INSTALLATION CONTRACTOR: J.T. Roofing, Inc.
WARRANTY ISSUE DATE: 10/10/2008 **EXPIRATION DATE:** 10/10/2018
MEMBRANE MANUFACTURER: Firestone Building Products Company
WARRANTY NUMBER: RB137252

ROOF CONSTRUCTION

Steel deck - tapered rigid insulation, loose laid - EPDM roof membrane, stone ballasted

NUMBER OF ROOF SYSTEMS: One **INSULATION LAYERS:** Unknown
TOTAL INSULATION THICKNESS: Unknown **TOTAL R-VALUE:** Unknown

ROOFTOP PROJECTIONS/EQUIPMENT

None Present

HVAC and A/C UNITS: None Present
PITCH PANS: None Present

ROOF SYSTEM CONDITIONS

DECK CONDITION: Unknown
INSULATION CONDITION: Unknown
MEMBRANE CONDITION: Requires Preventative Maintenance
BASE FLASHING CONDITION: Good Condition
MEMBRANE TIE-IN CONDITION: None Present
COUNTERFLASHING CONDITION: Good Condition
METAL EDGE CONDITION: None Present
CAP FLASHING CONDITION: None Present
COPING CONDITION: Good Condition
GUTTER EDGE CONDITION: None Present
EXPANSION JOINT CONDITION: None Present
WALL EXP. JOINT CONDITION: None Present
WALL SURFACES REQUIRE ATTENTION: None Present
RECOMMENDATION: N/A
CONDITION COMMENTS: One area of light ballast coverage.

WATER REMOVAL

ROOF SLOPE: 1/8 inch/foot	SLOPE METHOD: Tapered Insulation
DRAINAGE METHOD: Two drains	DRAINAGE: Good
ADD DRAINS/NUMBER: No	ADD TAPER: No

TESTING RECOMMENDED

STRUCTURAL ANALYSIS: No	DEW POINT ANALYSIS: No
INFRARED SURVEY: No	ASBESTOS SAMPLING: No
ACRM RESULTS: N/A	

GENERAL COMMENTS

None.

CONCLUSIONS

YEAR SCHEDULED OR PROJECTED SERVICE LIFE: 10-14

CAPITAL RECOMMENDATION: No Work Required	BUDGET: \$0.00
MAINTENANCE RECOMMENDATION: Preventative Maintenance	BUDGET: \$100.00

ROOF SURVEY DATA

GENERAL INFORMATION

ROOF AREA ID #: 339 - 3E+0

FACILITY NAME: Menomonee Falls High School
SURVEY DATE: 6/20/2013 **NEXT SURVEY DATE:** 6/1/2015
ROOF AREA NUMBER: 25 **ROOF SIZE (Square feet):** 631
ROOF TRAFFIC: None **ROOF HEIGHT (Feet):** 18
LEAK REPORTED: No **ROOF PERIMETER (Lineal feet):** 143
INTERIOR AFFECT ON ROOF: No
CONSTRUCTION ACCESS: Direct

HISTORICAL INFORMATION

ROOF INSTALLATION DATE: 2008 **SYSTEM WARRANTED:** Yes
INSTALLATION CONTRACTOR: J.T. Roofing, Inc.
WARRANTY ISSUE DATE: 10/10/2008 **EXPIRATION DATE:** 10/10/2018
MEMBRANE MANUFACTURER: Firestone Building Products Company
WARRANTY NUMBER: RB137252

ROOF CONSTRUCTION

Steel deck - tapered expanded polystyrene insulation, loose laid - .060 single-ply EPDM roof membrane, stone ballasted

NUMBER OF ROOF SYSTEMS: One **INSULATION LAYERS:** Unknown
TOTAL INSULATION THICKNESS: Unknown **TOTAL R-VALUE:** Unknown

ROOFTOP PROJECTIONS/EQUIPMENT

None Present

HVAC and A/C UNITS: None Present
PITCH PANS: None Present

ROOF SYSTEM CONDITIONS

DECK CONDITION: Unknown
INSULATION CONDITION: Unknown
MEMBRANE CONDITION: Good Condition
BASE FLASHING CONDITION: Good Condition
MEMBRANE TIE-IN CONDITION: None Present
COUNTERFLASHING CONDITION: Good Condition
METAL EDGE CONDITION: None Present
CAP FLASHING CONDITION: None Present
COPING CONDITION: Good Condition
GUTTER EDGE CONDITION: None Present
EXPANSION JOINT CONDITION: None Present
WALL EXP. JOINT CONDITION: Requires Preventative Maintenance
WALL SURFACES REQUIRE ATTENTION: Yes
RECOMMENDATION: There is some failed sealant around the windows and the control j
CONDITION COMMENTS: Roof is in good condition.

WATER REMOVAL

ROOF SLOPE: 1/8 inch/foot
DRAINAGE METHOD: Two drains
ADD DRAINS/NUMBER: No
SLOPE METHOD: Tapered Insulation
DRAINAGE: Good
ADD TAPER: No

TESTING RECOMMENDED

STRUCTURAL ANALYSIS: No
INFRARED SURVEY: No
ACRM RESULTS: N/A
DEW POINT ANALYSIS: No
ASBESTOS SAMPLING: No

GENERAL COMMENTS

None.

CONCLUSIONS

YEAR SCHEDULED OR PROJECTED SERVICE LIFE: 10-14

CAPITAL RECOMMENDATION: No Work Required	BUDGET: \$0.00
MAINTENANCE RECOMMENDATION: Preventative Maintenance	BUDGET: \$300.00

ROOF SURVEY DATA

GENERAL INFORMATION

ROOF AREA ID #: 339 - 3E+0

FACILITY NAME: Menomonee Falls High School
SURVEY DATE: 6/20/2013 **NEXT SURVEY DATE:** 6/1/2015
ROOF AREA NUMBER: 26 **ROOF SIZE (Square feet):** 259
ROOF TRAFFIC: None **ROOF HEIGHT (Feet):** 32
LEAK REPORTED: No **ROOF PERIMETER (Lineal feet):** 69
INTERIOR AFFECT ON ROOF: No
CONSTRUCTION ACCESS: Direct

HISTORICAL INFORMATION

ROOF INSTALLATION DATE: 2007 **SYSTEM WARRANTED:** Yes
INSTALLATION CONTRACTOR: J.T. Roofing, Inc.
WARRANTY ISSUE DATE: **EXPIRATION DATE:**
MEMBRANE MANUFACTURER: Firestone Building Products Company
WARRANTY NUMBER: N/A

ROOF CONSTRUCTION

Steel deck - tapered rigid insulation, loose laid - .060 EPDM roof membrane, stone ballast

NUMBER OF ROOF SYSTEMS: One **INSULATION LAYERS:** Two
TOTAL INSULATION THICKNESS: 3" avg. **TOTAL R-VALUE:** 12

ROOFTOP PROJECTIONS/EQUIPMENT

None Present

HVAC and A/C UNITS: None Present
PITCH PANS: None Present

ROOF SYSTEM CONDITIONS

DECK CONDITION: Unknown
INSULATION CONDITION: Unknown
MEMBRANE CONDITION: Requires Preventative Maintenance
BASE FLASHING CONDITION: Good Condition
MEMBRANE TIE-IN CONDITION: None Present
COUNTERFLASHING CONDITION: None Present
METAL EDGE CONDITION: None Present
CAP FLASHING CONDITION: None Present
COPING CONDITION: Good Condition
GUTTER EDGE CONDITION: None Present
EXPANSION JOINT CONDITION: None Present
WALL EXP. JOINT CONDITION: None Present
WALL SURFACES REQUIRE ATTENTION: None Present
RECOMMENDATION: N/A
CONDITION COMMENTS: Debris on roof surface.

WATER REMOVAL

ROOF SLOPE: 1/8 inch/foot	SLOPE METHOD: Tapered Insulation
DRAINAGE METHOD: One drain	DRAINAGE: Good
ADD DRAINS/NUMBER: No	ADD TAPER: No

TESTING RECOMMENDED

STRUCTURAL ANALYSIS: No	DEW POINT ANALYSIS: No
INFRARED SURVEY: No	ASBESTOS SAMPLING: No
ACRM RESULTS: N/A	

GENERAL COMMENTS

None

CONCLUSIONS

YEAR SCHEDULED OR PROJECTED SERVICE LIFE: 10-14

CAPITAL RECOMMENDATION: No Work Required	BUDGET: \$0.00
MAINTENANCE RECOMMENDATION: Preventative Maintenance	BUDGET: \$100.00

ROOF SURVEY DATA

GENERAL INFORMATION

ROOF AREA ID #: 339 - 3E+0

FACILITY NAME: Menomonee Falls High School
SURVEY DATE: 6/20/2013 **NEXT SURVEY DATE:** 6/1/2015
ROOF AREA NUMBER: 27 **ROOF SIZE (Square feet):** 4,150
ROOF TRAFFIC: Light **ROOF HEIGHT (Feet):** 24
LEAK REPORTED: No **ROOF PERIMETER (Lineal feet):** 322
INTERIOR AFFECT ON ROOF: No
CONSTRUCTION ACCESS: Direct

HISTORICAL INFORMATION

ROOF INSTALLATION DATE: 2007 **SYSTEM WARRANTED:** Yes
INSTALLATION CONTRACTOR: J.T. Roofing, Inc.
WARRANTY ISSUE DATE: **EXPIRATION DATE:**
MEMBRANE MANUFACTURER: Firestone Building Products Company
WARRANTY NUMBER: Unknown

ROOF CONSTRUCTION

Steel roof deck - tapered expanded polystyrene, loose-laid - .045 EPDM single-ply roof membrane, stone ballast

NUMBER OF ROOF SYSTEMS: One **INSULATION LAYERS:** Unknown
TOTAL INSULATION THICKNESS: Unknown **TOTAL R-VALUE:** Unknown

ROOFTOP PROJECTIONS/EQUIPMENT

Fourteen square curbs - one pipe vent - three soil stacks - two pipe penetration curbs

HVAC and A/C UNITS: 3 on curbs, 1 on 4x4s, 1 on rails
PITCH PANS: Three

ROOF SYSTEM CONDITIONS

DECK CONDITION: Unknown
INSULATION CONDITION: Unknown
MEMBRANE CONDITION: Requires Preventative Maintenance
BASE FLASHING CONDITION: Good Condition
MEMBRANE TIE-IN CONDITION: None Present
COUNTERFLASHING CONDITION: Good Condition
METAL EDGE CONDITION: None Present
CAP FLASHING CONDITION: Good Condition
COPING CONDITION: None Present
GUTTER EDGE CONDITION: None Present
EXPANSION JOINT CONDITION: Good Condition
WALL EXP. JOINT CONDITION: Good Condition
WALL SURFACES REQUIRE ATTENTION: Yes
RECOMMENDATION: Cracks in concrete, failed sealant
CONDITION COMMENTS: Some construction debris on roof and one windblown corner. Insulation is higher than wood nailer. Pitch pan requires refilling

WATER REMOVAL

ROOF SLOPE: 1/8 inch/foot
DRAINAGE METHOD: Six drains
ADD DRAINS/NUMBER: No
SLOPE METHOD: Tapered Insulation
DRAINAGE: Good
ADD TAPER: No

TESTING RECOMMENDED

STRUCTURAL ANALYSIS: No
INFRARED SURVEY: No
ACRM RESULTS: N/A
DEW POINT ANALYSIS: No
ASBESTOS SAMPLING: No

GENERAL COMMENTS

Duct wrap is loose

CONCLUSIONS

YEAR SCHEDULED OR PROJECTED SERVICE LIFE: 10-14

CAPITAL RECOMMENDATION: No Work Required	BUDGET: \$0.00
MAINTENANCE RECOMMENDATION: Preventative Maintenance	BUDGET: \$800.00

ROOF SURVEY DATA

GENERAL INFORMATION

ROOF AREA ID #: 339 - 3E+0

FACILITY NAME: Menomonee Falls High School
SURVEY DATE: 6/20/2013 **NEXT SURVEY DATE:** 6/1/2015
ROOF AREA NUMBER: 28 **ROOF SIZE (Square feet):** 20,046
ROOF TRAFFIC: Moderate **ROOF HEIGHT (Feet):** 32
LEAK REPORTED: No **ROOF PERIMETER (Lineal feet):** 645
INTERIOR AFFECT ON ROOF: No
CONSTRUCTION ACCESS: Direct

HISTORICAL INFORMATION

ROOF INSTALLATION DATE: 2007 **SYSTEM WARRANTED:** Yes
INSTALLATION CONTRACTOR: J.T. Roofing, Inc.
WARRANTY ISSUE DATE: **EXPIRATION DATE:**
MEMBRANE MANUFACTURER: Firestone Building Products Company
WARRANTY NUMBER: N/A

ROOF CONSTRUCTION

Steel roof deck - rigid insulation, loose-laid - .060 EPDM roof membrane, stone ballast

NUMBER OF ROOF SYSTEMS: One **INSULATION LAYERS:** Two
TOTAL INSULATION THICKNESS: 3" avg. **TOTAL R-VALUE:** 12

ROOFTOP PROJECTIONS/EQUIPMENT

Twenty-nine square curbs - four skylights - four hot stacks - seven soil stacks

HVAC and A/C UNITS: One on curbs
PITCH PANS: None Present

ROOF SYSTEM CONDITIONS

DECK CONDITION: Unknown
INSULATION CONDITION: Unknown
MEMBRANE CONDITION: Requires Preventative Maintenance
BASE FLASHING CONDITION: Good Condition
MEMBRANE TIE-IN CONDITION: None Present
COUNTERFLASHING CONDITION: Good Condition
METAL EDGE CONDITION: None Present
CAP FLASHING CONDITION: Good Condition
COPING CONDITION: Requires Preventative Maintenance
GUTTER EDGE CONDITION: None Present
EXPANSION JOINT CONDITION: None Present
WALL EXP. JOINT CONDITION: None Present
WALL SURFACES REQUIRE ATTENTION: No
RECOMMENDATION: N/A
CONDITION COMMENTS: Debris on roof surface. Minor shrinkage at curb units. Blistering at SE corner & middle of membrane. Failed sealant at ladder supports. Pipe vent lacks rain cap.

WATER REMOVAL

ROOF SLOPE: 1/8 inch/foot
DRAINAGE METHOD: 7 drains, 7 overflow drains
ADD DRAINS/NUMBER: No
SLOPE METHOD: Unknown
DRAINAGE: Good
ADD TAPER: No

TESTING RECOMMENDED

STRUCTURAL ANALYSIS: No
INFRARED SURVEY: No
ACRM RESULTS: N/A
DEW POINT ANALYSIS: No
ASBESTOS SAMPLING: No

GENERAL COMMENTS

Skylights lack fall protection

CONCLUSIONS

YEAR SCHEDULED OR PROJECTED SERVICE LIFE: 10-14

CAPITAL RECOMMENDATION: No Work Required	BUDGET: \$0.00
MAINTENANCE RECOMMENDATION: Preventative Maintenance	BUDGET: \$400.00

ROOF SURVEY DATA

GENERAL INFORMATION

ROOF AREA ID #: 339 - 3E+0

FACILITY NAME: Menomonee Falls High School
SURVEY DATE: 6/20/2013 **NEXT SURVEY DATE:** 6/1/2015
ROOF AREA NUMBER: 29 **ROOF SIZE (Square feet):** 2,567
ROOF TRAFFIC: Moderate **ROOF HEIGHT (Feet):** 18
LEAK REPORTED: No **ROOF PERIMETER (Lineal feet):** 232
INTERIOR AFFECT ON ROOF: No
CONSTRUCTION ACCESS: Multiple Lifts

HISTORICAL INFORMATION

ROOF INSTALLATION DATE: 2007 **SYSTEM WARRANTED:** Yes
INSTALLATION CONTRACTOR: J.T. Roofing, Inc.
WARRANTY ISSUE DATE: **EXPIRATION DATE:**
MEMBRANE MANUFACTURER: Firestone Building Products Company
WARRANTY NUMBER: N/A

ROOF CONSTRUCTION

Steel roof deck - rigid insulation, mechanically-attached - .060 EPDM roof membrane, fully-adhered

NUMBER OF ROOF SYSTEMS: Unknown **INSULATION LAYERS:** Two
TOTAL INSULATION THICKNESS: 3" avg. **TOTAL R-VALUE:** 12

ROOFTOP PROJECTIONS/EQUIPMENT

Six rail supports - one small pipe

HVAC and A/C UNITS: One
PITCH PANS: None Present

ROOF SYSTEM CONDITIONS

DECK CONDITION: Unknown
INSULATION CONDITION: Unknown
MEMBRANE CONDITION: Requires Preventative Maintenance
BASE FLASHING CONDITION: Requires Preventative Maintenance
MEMBRANE TIE-IN CONDITION: None Present
COUNTERFLASHING CONDITION: Good Condition
METAL EDGE CONDITION: None Present
CAP FLASHING CONDITION: None Present
COPING CONDITION: None Present
GUTTER EDGE CONDITION: None Present
EXPANSION JOINT CONDITION: None Present
WALL EXP. JOINT CONDITION: None Present
WALL SURFACES REQUIRE ATTENTION: No
RECOMMENDATION: N/A
CONDITION COMMENTS: Fasteners of insulation are beginning to back out. Duct wrap loose on HVAC unit.

WATER REMOVAL

ROOF SLOPE: 1/8 inch/foot
DRAINAGE METHOD: Two drains
ADD DRAINS/NUMBER: No
SLOPE METHOD: Tapered Insulation
DRAINAGE: Good
ADD TAPER: No

TESTING RECOMMENDED

STRUCTURAL ANALYSIS: No
INFRARED SURVEY: No
ACRM RESULTS: N/A
DEW POINT ANALYSIS: No
ASBESTOS SAMPLING: No

GENERAL COMMENTS

Debris on roof

CONCLUSIONS

YEAR SCHEDULED OR PROJECTED SERVICE LIFE: 10-14

CAPITAL RECOMMENDATION: No Work Required	BUDGET: \$0.00
MAINTENANCE RECOMMENDATION: Preventative Maintenance	BUDGET: \$300.00

ROOF SURVEY DATA

GENERAL INFORMATION

ROOF AREA ID #: 339 - 3E+0

FACILITY NAME: Menomonee Falls High School
SURVEY DATE: 6/20/2013 **NEXT SURVEY DATE:** 6/1/2015
ROOF AREA NUMBER: 30 **ROOF SIZE (Square feet):** 1,096
ROOF TRAFFIC: Moderate **ROOF HEIGHT (Feet):** 32
LEAK REPORTED: No **ROOF PERIMETER (Lineal feet):** 198
INTERIOR AFFECT ON ROOF: No
CONSTRUCTION ACCESS: Multiple Lifts

HISTORICAL INFORMATION

ROOF INSTALLATION DATE: 2007 **SYSTEM WARRANTED:** Yes
INSTALLATION CONTRACTOR: J.T. Roofing, Inc.
WARRANTY ISSUE DATE: **EXPIRATION DATE:**
MEMBRANE MANUFACTURER: Firestone Building Products Company
WARRANTY NUMBER: N/A

ROOF CONSTRUCTION

Steel roof deck - tapered rigid insulation - .060 EPDM roof membrane, stone ballast

NUMBER OF ROOF SYSTEMS: One **INSULATION LAYERS:** Two
TOTAL INSULATION THICKNESS: 3" avg. **TOTAL R-VALUE:** 12

ROOFTOP PROJECTIONS/EQUIPMENT

None Present

HVAC and A/C UNITS: None Present
PITCH PANS: None Present

ROOF SYSTEM CONDITIONS

DECK CONDITION: Unknown
INSULATION CONDITION: Unknown
MEMBRANE CONDITION: Good Condition
BASE FLASHING CONDITION: Good Condition
MEMBRANE TIE-IN CONDITION: None Present
COUNTERFLASHING CONDITION: None Present
METAL EDGE CONDITION: None Present
CAP FLASHING CONDITION: None Present
COPING CONDITION: Good Condition
GUTTER EDGE CONDITION: None Present
EXPANSION JOINT CONDITION: Good Condition
WALL EXP. JOINT CONDITION: None Present
WALL SURFACES REQUIRE ATTENTION: No
RECOMMENDATION: N/A
CONDITION COMMENTS: Good condition.

WATER REMOVAL

ROOF SLOPE: 1/8 inch/foot
DRAINAGE METHOD: Two drains
ADD DRAINS/NUMBER: No

SLOPE METHOD: Tapered Insulation
DRAINAGE: Good
ADD TAPER: No

TESTING RECOMMENDED

STRUCTURAL ANALYSIS: No
INFRARED SURVEY: No
ACRM RESULTS: N/A

DEW POINT ANALYSIS: No
ASBESTOS SAMPLING: No

GENERAL COMMENTS

None

CONCLUSIONS

YEAR SCHEDULED OR PROJECTED SERVICE LIFE: 10-14

CAPITAL RECOMMENDATION: No Work Required

BUDGET: \$0.00

MAINTENANCE RECOMMENDATION: No Work Required

BUDGET: \$0.00

ROOF SURVEY DATA

GENERAL INFORMATION

ROOF AREA ID #: 339 - 3E+0

FACILITY NAME: Menomonee Falls High School
SURVEY DATE: 6/20/2013 **NEXT SURVEY DATE:** 6/1/2015
ROOF AREA NUMBER: 31 **ROOF SIZE (Square feet):** 1,020
ROOF TRAFFIC: None **ROOF HEIGHT (Feet):** 20
LEAK REPORTED: No **ROOF PERIMETER (Lineal feet):** 186
INTERIOR AFFECT ON ROOF: No
CONSTRUCTION ACCESS: Indirect

HISTORICAL INFORMATION

ROOF INSTALLATION DATE: 2007 **SYSTEM WARRANTED:** Yes
INSTALLATION CONTRACTOR: J.T. Roofing, Inc.
WARRANTY ISSUE DATE: **EXPIRATION DATE:**
MEMBRANE MANUFACTURER: Firestone Building Products Company
WARRANTY NUMBER: N/A

ROOF CONSTRUCTION

Steel roof deck - tapered rigid insulation, mechanically-attached - .060 EPDM roof membrane, fully-adhered

NUMBER OF ROOF SYSTEMS: One **INSULATION LAYERS:** Two
TOTAL INSULATION THICKNESS: 3" avg. **TOTAL R-VALUE:** 12

ROOFTOP PROJECTIONS/EQUIPMENT

None Present

HVAC and A/C UNITS: None Present
PITCH PANS: None Present

ROOF SYSTEM CONDITIONS

DECK CONDITION: Unknown
INSULATION CONDITION: Unknown
MEMBRANE CONDITION: Good Condition
BASE FLASHING CONDITION: Good Condition
MEMBRANE TIE-IN CONDITION: None Present
COUNTERFLASHING CONDITION: None Present
METAL EDGE CONDITION: None Present
CAP FLASHING CONDITION: None Present
COPING CONDITION: None Present
GUTTER EDGE CONDITION: None Present
EXPANSION JOINT CONDITION: Good Condition
WALL EXP. JOINT CONDITION: None Present
WALL SURFACES REQUIRE ATTENTION: No
RECOMMENDATION: N/A
CONDITION COMMENTS: Debris on roof, failed sealant at precast counterflashing.

WATER REMOVAL

ROOF SLOPE: 1/8 inch/foot	SLOPE METHOD: Tapered Insulation
DRAINAGE METHOD: Two drains	DRAINAGE: Good
ADD DRAINS/NUMBER: No	ADD TAPER: No

TESTING RECOMMENDED

STRUCTURAL ANALYSIS: No	DEW POINT ANALYSIS: No
INFRARED SURVEY: No	ASBESTOS SAMPLING: No
ACRM RESULTS: N/A	

GENERAL COMMENTS

Insulation fasteners are beginning to back out

CONCLUSIONS

YEAR SCHEDULED OR PROJECTED SERVICE LIFE: 10-14

CAPITAL RECOMMENDATION: No Work Required	BUDGET: \$0.00
MAINTENANCE RECOMMENDATION: Preventative Maintenance	BUDGET: \$500.00

ROOF SURVEY DATA

GENERAL INFORMATION

ROOF AREA ID #: 339 - 3E+0

FACILITY NAME: Menomonee Falls High School
SURVEY DATE: 6/20/2013 **NEXT SURVEY DATE:** 6/1/2015
ROOF AREA NUMBER: 32 **ROOF SIZE (Square feet):** 5,283
ROOF TRAFFIC: Moderate **ROOF HEIGHT (Feet):** 20
LEAK REPORTED: No **ROOF PERIMETER (Lineal feet):** 293
INTERIOR AFFECT ON ROOF: No
CONSTRUCTION ACCESS: Direct

HISTORICAL INFORMATION

ROOF INSTALLATION DATE: Unknown **SYSTEM WARRANTED:** Unknown
INSTALLATION CONTRACTOR: Unknown
WARRANTY ISSUE DATE: **EXPIRATION DATE:**
MEMBRANE MANUFACTURER: Unknown
WARRANTY NUMBER: N/A

ROOF CONSTRUCTION

Precast concrete deck - rigid insulation - asphalt built-up roof with gravel surface

NUMBER OF ROOF SYSTEMS: One **INSULATION LAYERS:** Unknown
TOTAL INSULATION THICKNESS: Unknown **TOTAL R-VALUE:** Unknown

ROOFTOP PROJECTIONS/EQUIPMENT

Three square curbs - two soil stacks

HVAC and A/C UNITS: One on 4x4s
PITCH PANS: One

ROOF SYSTEM CONDITIONS

DECK CONDITION: Unknown
INSULATION CONDITION: Unknown
MEMBRANE CONDITION: Requires Preventative Maintenance
BASE FLASHING CONDITION: Good Condition
MEMBRANE TIE-IN CONDITION: None Present
COUNTERFLASHING CONDITION: Good Condition
METAL EDGE CONDITION: None Present
CAP FLASHING CONDITION: None Present
COPING CONDITION: Good Condition
GUTTER EDGE CONDITION: None Present
EXPANSION JOINT CONDITION: Good Condition
WALL EXP. JOINT CONDITION: Good Condition
WALL SURFACES REQUIRE ATTENTION: No
RECOMMENDATION: N/A
CONDITION COMMENTS: There is one area where water ponds. Debris on roof surface. One ventilation hood not secured to curb.

WATER REMOVAL

ROOF SLOPE: 1/8 inch/foot
DRAINAGE METHOD: Four drains
ADD DRAINS/NUMBER: No
SLOPE METHOD: Tapered Insulation
DRAINAGE: Fair
ADD TAPER: Yes

TESTING RECOMMENDED

STRUCTURAL ANALYSIS: No
INFRARED SURVEY: No
ACRM RESULTS: N/A
DEW POINT ANALYSIS: No
ASBESTOS SAMPLING: No

GENERAL COMMENTS

Failed sealant along counterflashing

CONCLUSIONS

YEAR SCHEDULED OR PROJECTED SERVICE LIFE: 6-9

CAPITAL RECOMMENDATION: No Work Required	BUDGET: \$0.00
MAINTENANCE RECOMMENDATION: Preventative Maintenance	BUDGET: \$600.00

ROOF SURVEY DATA

GENERAL INFORMATION

ROOF AREA ID #: 339 - 3E+0

FACILITY NAME: Menomonee Falls High School
SURVEY DATE: 6/20/2013 **NEXT SURVEY DATE:** 6/1/2015
ROOF AREA NUMBER: 33 **ROOF SIZE (Square feet):** 414
ROOF TRAFFIC: None **ROOF HEIGHT (Feet):** 14
LEAK REPORTED: No **ROOF PERIMETER (Lineal feet):** 102
INTERIOR AFFECT ON ROOF: No
CONSTRUCTION ACCESS: Direct

HISTORICAL INFORMATION

ROOF INSTALLATION DATE: 2007 **SYSTEM WARRANTED:** Yes
INSTALLATION CONTRACTOR: J.T. Roofing, Inc.
WARRANTY ISSUE DATE: **EXPIRATION DATE:**
MEMBRANE MANUFACTURER: Firestone Building Products Company
WARRANTY NUMBER: Unknown

ROOF CONSTRUCTION

Steel decking - expanded polystyrene insulation - .060 EPDM single-ply roof membrane - stone ballast

NUMBER OF ROOF SYSTEMS: One **INSULATION LAYERS:** Unknown
TOTAL INSULATION THICKNESS: Unknown **TOTAL R-VALUE:** Unknown

ROOFTOP PROJECTIONS/EQUIPMENT

None Present

HVAC and A/C UNITS: None Present
PITCH PANS: None Present

ROOF SYSTEM CONDITIONS

DECK CONDITION: Unknown
INSULATION CONDITION: Unknown
MEMBRANE CONDITION: Requires Preventative Maintenance
BASE FLASHING CONDITION: Good Condition
MEMBRANE TIE-IN CONDITION: None Present
COUNTERFLASHING CONDITION: Good Condition
METAL EDGE CONDITION: None Present
CAP FLASHING CONDITION: Good Condition
COPING CONDITION: None Present
GUTTER EDGE CONDITION: None Present
EXPANSION JOINT CONDITION: None Present
WALL EXP. JOINT CONDITION: None Present
WALL SURFACES REQUIRE ATTENTION: No
RECOMMENDATION: N/A
CONDITION COMMENTS: Debris on roof surface. Failed mortar joint

WATER REMOVAL

ROOF SLOPE: 1/8 inch/foot	SLOPE METHOD: Tapered Insulation
DRAINAGE METHOD: One drain	DRAINAGE: Good
ADD DRAINS/NUMBER: No	ADD TAPER: No

TESTING RECOMMENDED

STRUCTURAL ANALYSIS: No	DEW POINT ANALYSIS: No
INFRARED SURVEY: No	ASBESTOS SAMPLING: No
ACRM RESULTS: N/A	

GENERAL COMMENTS

None

CONCLUSIONS

YEAR SCHEDULED OR PROJECTED SERVICE LIFE: 10-14

CAPITAL RECOMMENDATION: No Work Required	BUDGET: \$0.00
MAINTENANCE RECOMMENDATION: Preventative Maintenance	BUDGET: \$300.00

ROOF SURVEY DATA

GENERAL INFORMATION

ROOF AREA ID #: 339 - 3E+0

FACILITY NAME: Menomonee Falls High School
SURVEY DATE: 6/20/2013 **NEXT SURVEY DATE:** 6/1/2015
ROOF AREA NUMBER: 34 **ROOF SIZE (Square feet):** 1,919
ROOF TRAFFIC: None **ROOF HEIGHT (Feet):** 14
LEAK REPORTED: No **ROOF PERIMETER (Lineal feet):** 256
INTERIOR AFFECT ON ROOF: No
CONSTRUCTION ACCESS: Direct

HISTORICAL INFORMATION

ROOF INSTALLATION DATE: 2007 **SYSTEM WARRANTED:** Yes
INSTALLATION CONTRACTOR: J.T. Roofing, Inc.
WARRANTY ISSUE DATE: **EXPIRATION DATE:**
MEMBRANE MANUFACTURER: Firestone Building Products Company
WARRANTY NUMBER: Unknown

ROOF CONSTRUCTION

Steel deck - expanded polystyrene insulation, loose-laid - .060 EPDM single-ply roof
membrane - stone ballast

NUMBER OF ROOF SYSTEMS: One **INSULATION LAYERS:** Two
TOTAL INSULATION THICKNESS: 3" avg. **TOTAL R-VALUE:** 12

ROOFTOP PROJECTIONS/EQUIPMENT

None

HVAC and A/C UNITS: None Present
PITCH PANS: None Present

ROOF SYSTEM CONDITIONS

DECK CONDITION: Unknown
INSULATION CONDITION: Unknown
MEMBRANE CONDITION: Good Condition
BASE FLASHING CONDITION: Good Condition
MEMBRANE TIE-IN CONDITION: None Present
COUNTERFLASHING CONDITION: None Present
METAL EDGE CONDITION: None Present
CAP FLASHING CONDITION: Requires Replacement
COPING CONDITION: Good Condition
GUTTER EDGE CONDITION: None Present
EXPANSION JOINT CONDITION: None Present
WALL EXP. JOINT CONDITION: None Present
WALL SURFACES REQUIRE ATTENTION: None Present
RECOMMENDATION: N/A
CONDITION COMMENTS: Good condition.

WATER REMOVAL

ROOF SLOPE: 1/8 inch/foot
DRAINAGE METHOD: Two drains
ADD DRAINS/NUMBER: No

SLOPE METHOD: Tapered Insulation
DRAINAGE: Good
ADD TAPER: No

TESTING RECOMMENDED

STRUCTURAL ANALYSIS: No
INFRARED SURVEY: No
ACRM RESULTS: N/A

DEW POINT ANALYSIS: No
ASBESTOS SAMPLING: No

GENERAL COMMENTS

None

CONCLUSIONS

YEAR SCHEDULED OR PROJECTED SERVICE LIFE: 10-14

CAPITAL RECOMMENDATION: No Work Required

BUDGET: \$0.00

MAINTENANCE RECOMMENDATION: No Work Required

BUDGET: \$0.00

ROOF SURVEY DATA

GENERAL INFORMATION

ROOF AREA ID #: 339 - 3E+0

FACILITY NAME: Menomonee Falls High School
SURVEY DATE: 6/20/2013 **NEXT SURVEY DATE:** 6/1/2015
ROOF AREA NUMBER: 35 **ROOF SIZE (Square feet):** 836
ROOF TRAFFIC: None **ROOF HEIGHT (Feet):** 18
LEAK REPORTED: No **ROOF PERIMETER (Lineal feet):** 210
INTERIOR AFFECT ON ROOF: No
CONSTRUCTION ACCESS: Direct

HISTORICAL INFORMATION

ROOF INSTALLATION DATE: Unknown **SYSTEM WARRANTED:** Unknown
INSTALLATION CONTRACTOR: Unknown
WARRANTY ISSUE DATE: **EXPIRATION DATE:**
MEMBRANE MANUFACTURER: Unknown
WARRANTY NUMBER: N/A

ROOF CONSTRUCTION

Unknown deck type - rigid insulation - EPDM single-ply, stone ballasted

NUMBER OF ROOF SYSTEMS: One **INSULATION LAYERS:** Unknown
TOTAL INSULATION THICKNESS: N/A **TOTAL R-VALUE:** Unknown

ROOFTOP PROJECTIONS/EQUIPMENT

One square curb

HVAC and A/C UNITS: None Present
PITCH PANS: None Present

ROOF SYSTEM CONDITIONS

DECK CONDITION: Unknown
INSULATION CONDITION: Unknown
MEMBRANE CONDITION: Requires Preventative Maintenance
BASE FLASHING CONDITION: Good Condition
MEMBRANE TIE-IN CONDITION: None Present
COUNTERFLASHING CONDITION: Good Condition
METAL EDGE CONDITION: None Present
CAP FLASHING CONDITION: Good Condition
COPING CONDITION: None Present
GUTTER EDGE CONDITION: None Present
EXPANSION JOINT CONDITION: None Present
WALL EXP. JOINT CONDITION: None Present
WALL SURFACES REQUIRE ATTENTION: None Present
RECOMMENDATION: N/A
CONDITION COMMENTS: Debris on roof surface

WATER REMOVAL

ROOF SLOPE: 1/8 inch/foot	SLOPE METHOD: Tapered Insulation
DRAINAGE METHOD: Two drains	DRAINAGE: Good
ADD DRAINS/NUMBER: No	ADD TAPER: No

TESTING RECOMMENDED

STRUCTURAL ANALYSIS: No	DEW POINT ANALYSIS: No
INFRARED SURVEY: No	ASBESTOS SAMPLING: No
ACRM RESULTS: N/A	

GENERAL COMMENTS

Good condition

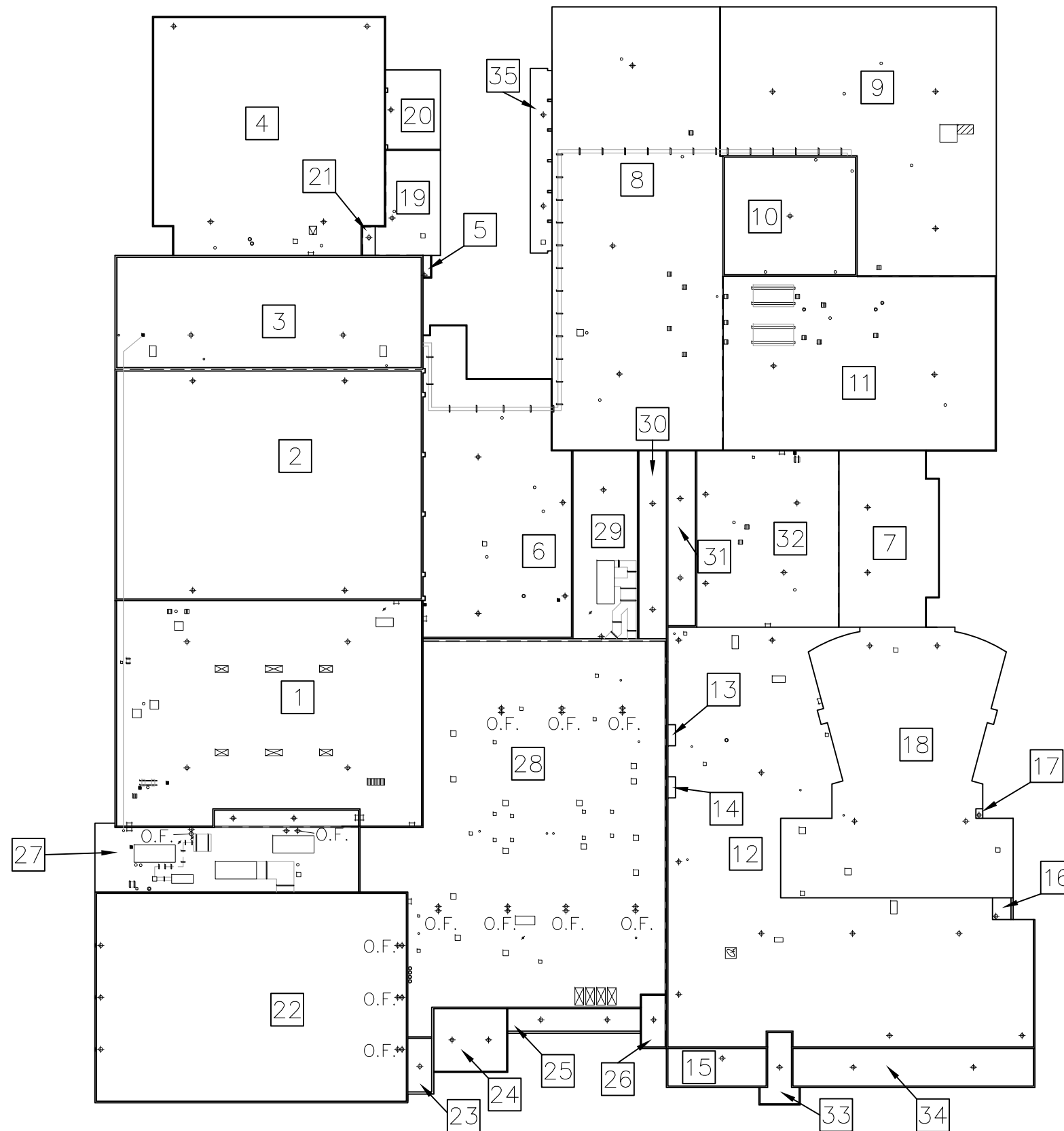
CONCLUSIONS

YEAR SCHEDULED OR PROJECTED SERVICE LIFE: 10-14

CAPITAL RECOMMENDATION: No Work Required	BUDGET: \$0.00
MAINTENANCE RECOMMENDATION: Preventative Maintenance	BUDGET: \$150.00

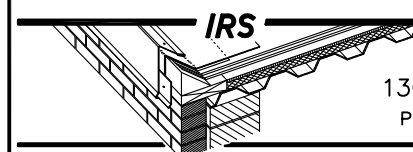
APPENDIX B:

ROOF PLAN



ROOF SIZES

ROOF AREA	SQ. FEET	PERIMETER
1	14,034	505
2	14,711	490
3	7,121	382
4	11,360	432
5	35	27
6	8,266	436
7	3,546	254
8	15,931	565
9	12,241	502
10	3,273	229
11	9,991	410
12	19,577	840
13	34	26
14	34	26
15	785	125
16	85	37
17	14	15
18	10,356	500
19	1,286	157
20	918	126
21	80	39
22	13,649	477
23	272	72
24	966	125
25	631	143
26	259	69
27	4,150	322
28	20,046	645
29	2,567	232
30	1,096	198
31	1,020	186
32	5,283	293
33	414	102
34	1,919	256
35	836	210
TOTAL	186,786	9,453



INDUSTRIAL ROOFING SERVICES, INC.
13000 WEST SILVER SPRING DRIVE – BUTLER, WI 53007
PHONE: (800) 236-3477 / (262) 432-0500 FAX: (262) 432-0504

PROJECT NAME:
SCHOOL DISTRICT OF MENOMONEE FALLS
MENOMONEE FALLS HIGH SCHOOL
W142N8101 MERRIMAC DR-MENOMONEE FALLS

TITLE:
COMPREHENSIVE ROOF SURVEY

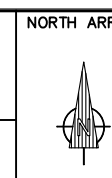
DRAWN BY:
ARG

SCALE:
N.T.S.

DATE:
6/20/13

DRAWING TYPE:
ROOF PLAN

DRAWING NO.:
339



- KEY:
- ⊕ - ROOF DRAIN
 - ⊕ - THROUGH-WALL SCUPPER
 - ⊕ - ROOF EDGE SCUPPER
 - ⊕ - GUTTER EDGE
 - ⊕ - CURBED OPENING
 - ⊕ - ROOF SCUTTLE
 - ⊕ - SKYLIGHT
 - ⊕ - CURBED PIPE VENT
 - ⊕ - UNUSED
 - ⊕ - CHIMNEY
 - ⊕ - ROOF LADDER
 - ⊕ - PIPE VENT
 - ⊕ - SOIL STACK
 - ⊕ - PIPE PENETRATION
 - ⊕ - PITCH PAN
 - ⊕ - EXPANSION JOINT
 - ⊕ - SLOPE TRANSITION
 - ⊕ - SCREEN WALL



Roof Survey Data

**Menomonee Falls, School District of
Thomas Jefferson Middle School (117)
Roof Area Number: 01**

General Information

Survey Date: 06/15/13
Next Survey Date: 03/01/15
Roof Size (square feet): 12060
Roof Height (feet): 14
Roof Perimeter (lin feet): 918
Roof Traffic: Light
Leak Reported: No
Construction Access: Direct
Interior Affect On Roof: No

Historical Information

Roof Installation Date: 1996
System Warranted: No
Warranty Issue Date: 07/23/96 **Warr. Expire Date:** 07/23/06
Installation Contractor: J.T. Roofing, Inc.
Warranty Holder: Koppers Industries, Inc.
Warranty Number: 97-238-11-WI-10

Roof Construction

Description: Precast concrete deck - 2-ply asphalt vapor retarder - 1.5"
polyisocyanurate insulation - 1/2" fiberboard insulation - 4-ply
coal tar pitch built-up roof membrane - gravel surface
Num. Of Roof Systems: One **Insulation Layers:** Two
Total Insul. Thickness: 2" **Total R-Value:** 11.39

Rooftop Projections/Equipment

Description: Fourteen square curbs - one pipe vents (stacks) - eight soil stacks
- one chimney - three skylights
HVAC Units: None Present
Pitch Pans: None Present

Roof System Conditions

Deck:	Unknown	Insulation:	Unknown
Membrane:	Requires Remedial Maintenance	Base Flashing:	Requires Remedial Maintenance
Membrane Tie-In:	None Present		
Counter Flashing:	Good Condition		
Metal Edge:	None Present		
Cap Flashing:	Good Condition		
Coping:	Good Condition		
Gutter Edge:	None Present		
Expansion Joint:	Good Condition		
Wall Exp. Joint:	None Present		
Wall Surfaces:			
Require Attention:	No		
Recommendation:	N/A		
Condition Comments:	There is quite a bit of membrane blistering. There is a lot of accumulated organic debris, inhibiting drainage.		

Water Removal

Roof Slope:	Dead Level	Slope Method:	N/A
Drainage Method:	Five drains	Drainage:	Poor
Add Drains/Number:	No	Add Taper:	No

Testing Recommended

Structural Analysis:	No	Dew Point Analysis:	No
Infrared Survey:	No	Asbestos Sampling:	No
ACRM Results:	N/A		

General Comments

This roof is in fair condition.

Conclusions

Year Scheduled Or Projected Service Life:	6-9
Capital Recommendation:	No Work Required
Capital Budget:	\$0
Maintenance Recommendation:	Remedial Maintenance
Maintenance Budget:	\$3800

Roof Survey Data

**Menomonee Falls, School District of
Thomas Jefferson Middle School (117)
Roof Area Number: 02**

General Information

Survey Date: 06/15/13
Next Survey Date: 03/01/15
Roof Size (square feet): 6610
Roof Height (feet): 16
Roof Perimeter (lin feet): 263
Roof Traffic: None
Leak Reported: No
Construction Access: Direct
Interior Affect On Roof: No

Historical Information

Roof Installation Date: 2002
System Warranted: No
Warranty Issue Date: 07/12/02 **Warr. Expire Date:** 07/12/12
Installation Contractor: Specialty Associates, Inc. (SAI)
Warranty Holder: Johns-Manville Corporation
Warranty Number: FNT071012181

Roof Construction

Description: Precast concrete deck - 1" perlite insulation - one-ply temporary roof - 1.5" polyisocyanurate insulation - thermoplastic fully-adhered roof membrane
Num. Of Roof Systems: One **Insulation Layers:** Two
Total Insul. Thickness: 2.5" **Total R-Value:** 11.12

Rooftop Projections/Equipment

Description: None
HVAC Units: None Present
Pitch Pans: None Present

Roof System Conditions

Deck:	Unknown	Insulation:	Unknown
Membrane:	Good Condition	Base Flashing:	None Present
Membrane Tie-In:	None Present		
Counter Flashing:	Requires Preventative Maintenance		
Metal Edge:	Requires Remedial Maintenance		
Cap Flashing:	None Present		
Coping:	None Present		
Gutter Edge:	None Present		
Expansion Joint:	None Present		
Wall Exp. Joint:	None Present		
Wall Surfaces:			
Require Attention:	None Present		
Recommendation:	N/A		
Condition Comments:	Splitting joints at metal edge. Delaminating flashings at metal edge corners.		

Water Removal

Roof Slope:	9 inches/foot	Slope Method:	Structural
Drainage Method:	Eave run-off	Drainage:	Good
Add Drains/Number:	No	Add Taper:	No

Testing Recommended

Structural Analysis:	No	Dew Point Analysis:	No
Infrared Survey:	No	Asbestos Sampling:	No
ACRM Results:	N/A		

General Comments

None

Conclusions

Year Scheduled Or Projected Service Life:	6-9
Capital Recommendation:	No Work Required
Capital Budget:	\$0
Maintenance Recommendation:	Remedial Maintenance
Maintenance Budget:	\$3500

Roof Survey Data

**Menomonee Falls, School District of
Thomas Jefferson Middle School (117)
Roof Area Number: 03**

General Information

Survey Date: 06/15/13
Next Survey Date: 03/01/15
Roof Size (square feet): 9747
Roof Height (feet): 22
Roof Perimeter (lin feet): 396
Roof Traffic: Light
Leak Reported: No
Construction Access: Multiple Lifts
Interior Affect On Roof: No

Historical Information

Roof Installation Date: 1997
System Warranted: No
Warranty Issue Date: 07/23/97 **Warr. Expire Date:** 07/23/07
Installation Contractor: J.T. Roofing, Inc.
Warranty Holder: Firestone Building Products
Warranty Number: RB046179

Roof Construction

Description: Precast concrete deck - existing insulation - tapered expanded polystyrene insulation - 1" expanded polystyrene insulation - .045 reinforced EPDM single-ply roof membrane - stone ballast
Num. Of Roof Systems: One **Insulation Layers:** Three
Total Insul. Thickness: 8.9" avg **Total R-Value:** 34.28 avg

Rooftop Projections/Equipment

Description: Two soil stacks
HVAC Units: None Present
Pitch Pans: None Present

Roof System Conditions

Deck:	Unknown	Insulation:	Unknown
Membrane:	Good Condition	Base Flashing:	Good Condition
Membrane Tie-In:	None Present		
Counter Flashing:	None Present		
Metal Edge:	Good Condition		
Cap Flashing:	None Present		
Coping:	None Present		
Gutter Edge:	None Present		
Expansion Joint:	None Present		
Wall Exp. Joint:	None Present		
Wall Surfaces:			
Require Attention:	None Present		
Recommendation:	N/A		
Condition Comments:	Broken/displaced concrete pavers.		

Water Removal

Roof Slope:	1/4 inch/foot	Slope Method:	Tapered Insulation
Drainage Method:	Two drains	Drainage:	Fair
Add Drains/Number:	No	Add Taper:	Yes

Testing Recommended

Structural Analysis:	No	Dew Point Analysis:	No
Infrared Survey:	No	Asbestos Sampling:	No
ACRM Results:	N/A		

General Comments

No deficiencies noted.

Conclusions

Year Scheduled Or Projected Service Life:	2017
Capital Recommendation:	Replacement
Capital Budget:	\$50000
Maintenance Recommendation:	No Work Required
Maintenance Budget:	\$0

Roof Survey Data

**Menomonee Falls, School District of
Thomas Jefferson Middle School (117)
Roof Area Number: 04**

General Information

Survey Date: 06/15/13
Next Survey Date: 03/01/15
Roof Size (square feet): 8812
Roof Height (feet): 20
Roof Perimeter (lin feet): 606
Roof Traffic: Light
Leak Reported: No
Construction Access: Direct
Interior Affect On Roof: No

Historical Information

Roof Installation Date: 1999
System Warranted: No
Warranty Issue Date: 07/27/99 **Warr. Expire Date:** 07/27/09
Installation Contractor: Specialty Associates, Inc.
Warranty Holder: Honeywell International, Inc.
Warranty Number: M0410990027

Roof Construction

Description: Precast concrete deck - 2-ply vapor retarder - 2 courses 1.5" polyisocyanurate insulation - 1/2" fiberboard insulation - 4-ply coal tar pitch built-up roof membrane - gravel surface
Num. Of Roof Systems: One **Insulation Layers:** Three
Total Insul. Thickness: 3.5" **Total R-Value:** 21.4

Rooftop Projections/Equipment

Description: One square curb - one soil stack
HVAC Units: None Present
Pitch Pans: None Present

Roof System Conditions

Deck:	Unknown	Insulation:	Unknown
Membrane:	Good Condition	Base Flashing:	Good Condition
Membrane Tie-In:	None Present		
Counter Flashing:	Good Condition		
Metal Edge:	None Present		
Cap Flashing:	Good Condition		
Coping:	None Present		
Gutter Edge:	None Present		
Expansion Joint:	None Present		
Wall Exp. Joint:	None Present		
Wall Surfaces:			
Require Attention:	Yes		
Recommendation:	Minor tuckpointing.		
Condition Comments:	Exhaust vent is pitched to allow water to collect on top.		

Water Removal

Roof Slope:	Dead level	Slope Method:	Structural
Drainage Method:	Three drains	Drainage:	Good
Add Drains/Number:	No	Add Taper:	No

Testing Recommended

Structural Analysis:	No	Dew Point Analysis:	No
Infrared Survey:	No	Asbestos Sampling:	No
ACRM Results:	N/A		

General Comments

Roof system in good condition.

Conclusions

Year Scheduled Or Projected Service Life:	10-14
Capital Recommendation:	No Work Required
Capital Budget:	\$0
Maintenance Recommendation:	No Work Required
Maintenance Budget:	\$0

Roof Survey Data

**Menomonee Falls, School District of
Thomas Jefferson Middle School (117)
Roof Area Number: 05**

General Information

Survey Date: 06/15/13
Next Survey Date: 03/01/15
Roof Size (square feet): 1757
Roof Height (feet): 14
Roof Perimeter (lin feet): 380
Roof Traffic: Light
Leak Reported: No
Construction Access: Direct
Interior Affect On Roof: No

Historical Information

Roof Installation Date: 1999
System Warranted: No
Warranty Issue Date: 07/27/99 **Warr. Expire Date:** 07/27/09
Installation Contractor: Specialty Associates, Inc.
Warranty Holder: Honeywell International, Inc.
Warranty Number: M04010990027

Roof Construction

Description: Precast concrete roof deck - 2-ply vapor retarder - 2 courses of 1.5" polyisocyanurate insulation - 1/2" fiberboard insulation - 4-ply coal tar pitch built-up roof membrane - gravel surface
Num. Of Roof Systems: One **Insulation Layers:** Three
Total Insul. Thickness: 3.5" **Total R-Value:** 21.4

Rooftop Projections/Equipment

Description: Two soil stacks - one curb
HVAC Units: None Present
Pitch Pans: None Present

Roof System Conditions

Deck:	Good Condition	Insulation:	Dry
Membrane:	Good Condition	Base Flashing:	Good Condition
Membrane Tie-In:	None Present		
Counter Flashing:	Good Condition		
Metal Edge:	None Present		
Cap Flashing:	Good Condition		
Coping:	None Present		
Gutter Edge:	None Present		
Expansion Joint:	None Present		
Wall Exp. Joint:	None Present		
Wall Surfaces:			
Require Attention:	No		
Recommendation:	N/A		
Condition Comments:	Damaged vent hood.		

Water Removal

Roof Slope:	Dead level	Slope Method:	Structural
Drainage Method:	Two drains	Drainage:	Good
Add Drains/Number:	No	Add Taper:	No

Testing Recommended

Structural Analysis:	No	Dew Point Analysis:	No
Infrared Survey:	No	Asbestos Sampling:	No
ACRM Results:	N/A		

General Comments

Roof system in good condition but requires some preventative maintenance to achieve the full design service life.

Conclusions

Year Scheduled Or Projected Service Life:	10-14
Capital Recommendation:	No Work Required
Capital Budget:	\$0
Maintenance Recommendation:	No Work Required
Maintenance Budget:	\$0

Roof Survey Data

**Menomonee Falls, School District of
Thomas Jefferson Middle School (117)
Roof Area Number: 06**

General Information

Survey Date: 06/15/13
Next Survey Date: 03/01/15
Roof Size (square feet): 12073
Roof Height (feet): 16
Roof Perimeter (lin feet): 476
Roof Traffic: Light
Leak Reported: No
Construction Access: Direct
Interior Affect On Roof: No

Historical Information

Roof Installation Date: 2001
System Warranted: No
Warranty Issue Date: 07/14/01 **Warr. Expire Date:** 07/14/11
Installation Contractor: Specialty Associates, Inc. (SAI)
Warranty Holder: Johns-Manville Corporation
Warranty Number: FPB071004172

Roof Construction

Description: Precast concrete deck - 1" perlite insulation - 2-ply temporary roof - tapered polyisocyanurate insulation - ½" fiberboard insulation - asphalt built-up roof with gravel surface
Num. Of Roof Systems: One **Insulation Layers:** Three
Total Insul. Thickness: 4.8" avg **Total R-Value:** 25.85 avg

Rooftop Projections/Equipment

Description: Twelve soil stacks
HVAC Units: None Present
Pitch Pans: None Present

Roof System Conditions

Deck:	Unknown	Insulation:	Unknown
Membrane:	Good Condition	Base Flashing:	Good Condition
Membrane Tie-In:	None Present		
Counter Flashing:	None Present		
Metal Edge:	None Present		
Cap Flashing:	Good Condition		
Coping:	Good Condition		
Gutter Edge:	None Present		
Expansion Joint:	Good Condition		
Wall Exp. Joint:	None Present		
Wall Surfaces:			
Require Attention:	None Present		
Recommendation:	N/A		
Condition Comments:	There is organic debris on the roof and on the drains. A tree has overgrown the roof surface.		

Water Removal

Roof Slope:	1/8 inch/foot	Slope Method:	Tapered Insulation
Drainage Method:	Three drains	Drainage:	Good
Add Drains/Number:	No	Add Taper:	No

Testing Recommended

Structural Analysis:	No	Dew Point Analysis:	No
Infrared Survey:	No	Asbestos Sampling:	No
ACRM Results:	N/A		

General Comments

Roof system in good condition but requires some minor preventative maintenance to achieve the full design service life.

Conclusions

Year Scheduled Or Projected Service Life:	15-19
Capital Recommendation:	No Work Required
Capital Budget:	\$0
Maintenance Recommendation:	No Work Required
Maintenance Budget:	\$0

Roof Survey Data

**Menomonee Falls, School District of
Thomas Jefferson Middle School (117)
Roof Area Number: 07**

General Information

Survey Date: 06/15/13
Next Survey Date: 03/01/15
Roof Size (square feet): 3825
Roof Height (feet): 16
Roof Perimeter (lin feet): 229
Roof Traffic: None
Leak Reported: No
Construction Access: Indirect
Interior Affect On Roof: No

Historical Information

Roof Installation Date: 1996
System Warranted: No
Warranty Issue Date: 06/21/96 **Warr. Expire Date:** 06/21/06
Installation Contractor: J.T. Roofing, Inc.
Warranty Holder: Seal-Dry/USA, Inc.
Warranty Number: 29094

Roof Construction

Description: Precast concrete deck - 2-ply vapor retarder - 1.5"
polyisocyanurate insulation - fully adhered PVC roof membrane
Num. Of Roof Systems: One **Insulation Layers:** One
Total Insul. Thickness: 1.5" **Total R-Value:** 8.34

Rooftop Projections/Equipment

Description: One square curb
HVAC Units: None Present
Pitch Pans: None Present

Roof System Conditions

Deck:	Unknown	Insulation:	Unknown
Membrane:	Requires Remedial Maintenance	Base Flashing:	None Present
Membrane Tie-In:	None Present		
Counter Flashing:	None Present		
Metal Edge:	Good Condition		
Cap Flashing:	None Present		
Coping:	None Present		
Gutter Edge:	None Present		
Expansion Joint:	None Present		
Wall Exp. Joint:	None Present		
Wall Surfaces:			
Require Attention:	None Present		
Recommendation:	N/A		
Condition Comments:	There are many patches on this roof area. Roof suffered hail damage.		

Water Removal

Roof Slope:	9 inches/foot	Slope Method:	Structural
Drainage Method:	Eave run-off	Drainage:	Good
Add Drains/Number:	No	Add Taper:	No

Testing Recommended

Structural Analysis:	No	Dew Point Analysis:	No
Infrared Survey:	No	Asbestos Sampling:	No
ACRM Results:	N/A		

General Comments

Roof system in good condition but requires some minor preventative maintenance to achieve the full design service life.

Conclusions

Year Scheduled Or Projected Service Life:	2016
Capital Recommendation:	Replacement
Capital Budget:	\$60000
Maintenance Recommendation:	Remedial Maintenance
Maintenance Budget:	\$3500

Roof Survey Data

**Menomonee Falls, School District of
Thomas Jefferson Middle School (117)
Roof Area Number: 08**

General Information

Survey Date: 06/15/13
Next Survey Date: 03/01/15
Roof Size (square feet): 76
Roof Height (feet): 30
Roof Perimeter (lin feet): 35
Roof Traffic: Light
Leak Reported: No
Construction Access: Direct
Interior Affect On Roof: No

Historical Information

Roof Installation Date: 2003
System Warranted: Yes
Warranty Issue Date: 08/27/03 **Warr. Expire Date:** 08/27/13
Installation Contractor: Walsdorf Roofing Company, Inc.
Warranty Holder: Johns-Manville Corporation
Warranty Number: FOB121022871

Roof Construction

Description: Concrete deck - 2-ply temporary roof membrane - tapered polyisocyanurate 2.5" start 1/8 inch/foot - 1/2" fiberboard insulation - 4-ply asphalt built-up roof, gravel surface
Num. Of Roof Systems: One **Insulation Layers:** One
Total Insul. Thickness: 3.6" avg **Total R-Value:** 22.37 avg

Rooftop Projections/Equipment

Description: None Present
HVAC Units: None Present
Pitch Pans: None Present

Roof System Conditions

Deck:	Unknown	Insulation:	Unknown
Membrane:	Good Condition	Base Flashing:	Good Condition
Membrane Tie-In:	None Present		
Counter Flashing:	Good Condition		
Metal Edge:	Good Condition		
Cap Flashing:	Good Condition		
Coping:	None Present		
Gutter Edge:	None Present		
Expansion Joint:	None Present		
Wall Exp. Joint:	None Present		
Wall Surfaces:			
Require Attention:	No		
Recommendation:	N/A		
Condition Comments:	Roof is in good condition.		

Water Removal

Roof Slope:	1/8 inch/foot	Slope Method:	Tapered Insulation
Drainage Method:	One scupper	Drainage:	Good
Add Drains/Number:	No	Add Taper:	No

Testing Recommended

Structural Analysis:	No	Dew Point Analysis:	No
Infrared Survey:	No	Asbestos Sampling:	No
ACRM Results:	N/A		

General Comments

Roof is in good condition.

Conclusions

Year Scheduled Or Projected Service Life:	15-19
Capital Recommendation:	No Work Required
Capital Budget:	\$0
Maintenance Recommendation:	No Work Required
Maintenance Budget:	\$0

Roof Survey Data

**Menomonee Falls, School District of
Thomas Jefferson Middle School (117)
Roof Area Number: 09**

General Information

Survey Date: 06/15/13
Next Survey Date: 03/01/15
Roof Size (square feet): 96
Roof Height (feet): 35
Roof Perimeter (lin feet): 39
Roof Traffic: None
Leak Reported: No
Construction Access: Direct
Interior Affect On Roof: No

Historical Information

Roof Installation Date: 2003
System Warranted: Yes
Warranty Issue Date: 08/27/03 **Warr. Expire Date:** 08/27/13
Installation Contractor: Walsdorf Roofing Company, Inc.
Warranty Holder: Johns-Manville Corporation
Warranty Number: FOB121022871

Roof Construction

Description: Concrete deck - 2-ply temporary roof membrane - tapered polyisocyanurate 2.5" start 1/8 inch/foot - 1/2" fiberboard insulation - 4-ply asphalt built-up roof, gravel surface
Num. Of Roof Systems: One **Insulation Layers:** Two
Total Insul. Thickness: 3.6" avg **Total R-Value:** 22.37 avg

Rooftop Projections/Equipment

Description: None Present
HVAC Units: None Present
Pitch Pans: None Present

Roof System Conditions

Deck:	Unknown	Insulation:	Unknown
Membrane:	Good Condition	Base Flashing:	Good Condition
Membrane Tie-In:	None Present		
Counter Flashing:	None Present		
Metal Edge:	None Present		
Cap Flashing:	Good Condition		
Coping:	None Present		
Gutter Edge:	None Present		
Expansion Joint:	None Present		
Wall Exp. Joint:	None Present		
Wall Surfaces:			
Require Attention:	None Present		
Recommendation:	N/A		
Condition Comments:	None.		

Water Removal

Roof Slope:	1/8 inch/foot	Slope Method:	Tapered Insulation
Drainage Method:	One scupper	Drainage:	Good
Add Drains/Number:	No	Add Taper:	No

Testing Recommended

Structural Analysis:	No	Dew Point Analysis:	No
Infrared Survey:	No	Asbestos Sampling:	No
ACRM Results:	N/A		

General Comments

Roof requires minor preventative maintenance to facilitate its proper performance throughout the duration of its design service life.

Conclusions

Year Scheduled Or Projected Service Life:	15-19
Capital Recommendation:	No Work Required
Capital Budget:	\$0
Maintenance Recommendation:	No Work Required
Maintenance Budget:	\$0

Roof Survey Data

**Menomonee Falls, School District of
Thomas Jefferson Middle School (117)
Roof Area Number: 10**

General Information

Survey Date: 06/15/13
Next Survey Date: 03/01/15
Roof Size (square feet): 14048
Roof Height (feet): 25
Roof Perimeter (lin feet): 530
Roof Traffic: Light
Leak Reported: No
Construction Access: Direct
Interior Affect On Roof: No

Historical Information

Roof Installation Date: 2003
System Warranted: Yes
Warranty Issue Date: 08/27/03 **Warr. Expire Date:** 08/27/13
Installation Contractor: Walsdorf Roofing Company, Inc.
Warranty Holder: Johns-Manville Corporation
Warranty Number: FOB121022871

Roof Construction

Description: Concrete deck - 1" perlite insulation - 2-ply temporary roof membrane - tapered polyisocyanurate 1.5" start 1/8 inch/foot - 1/2" fiberboard insulation - 4-ply asphalt built-up roof, gravel surface
Num. Of Roof Systems: One **Insulation Layers:** Three
Total Insul. Thickness: 5.3" avg **Total R-Value:** 29.18 avg

Rooftop Projections/Equipment

Description: Four square curbs - ten soil stacks
HVAC Units: None Present
Pitch Pans: None Present

Roof System Conditions

Deck:	Unknown	Insulation:	Unknown
Membrane:	Good Condition	Base Flashing:	Good Condition
Membrane Tie-In:	None Present		
Counter Flashing:	Good Condition		
Metal Edge:	None Present		
Cap Flashing:	Good Condition		
Coping:	None Present		
Gutter Edge:	None Present		
Expansion Joint:	None Present		
Wall Exp. Joint:	None Present		
Wall Surfaces:			
Require Attention:	No		
Recommendation:	N/A		
Condition Comments:	Debris in drains and roof surface.		

Water Removal

Roof Slope:	1/8 inch/foot	Slope Method:	Tapered Insulation
Drainage Method:	Three drains	Drainage:	Good
Add Drains/Number:	No	Add Taper:	No

Testing Recommended

Structural Analysis:	No	Dew Point Analysis:	No
Infrared Survey:	No	Asbestos Sampling:	No
ACRM Results:	N/A		

General Comments

None.

Conclusions

Year Scheduled Or Projected Service Life:	15-19
Capital Recommendation:	No Work Required
Capital Budget:	\$0
Maintenance Recommendation:	No Work Required
Maintenance Budget:	\$0

Roof Survey Data

**Menomonee Falls, School District of
Thomas Jefferson Middle School (117)
Roof Area Number: 11**

General Information

Survey Date: 06/15/13
Next Survey Date: 03/01/15
Roof Size (square feet): 15425
Roof Height (feet): 16
Roof Perimeter (lin feet): 732
Roof Traffic: Light
Leak Reported: No
Construction Access: Direct
Interior Affect On Roof: No

Historical Information

Roof Installation Date: 1998
System Warranted: No
Warranty Issue Date: 09/01/98 **Warr. Expire Date:** 09/01/08
Installation Contractor: Carlson Racine Roofing, Inc.
Warranty Holder: Honeywell International, Inc.
Warranty Number: M0410980057

Roof Construction

Description: Precast concrete roof deck - 2-ply asphalt vapor retarder - 2.5" polyisocyanurate insulation - 1/2" fiberboard insulation - 4-ply coal tar pitch built-up roof membrane with gravel surface
Num. Of Roof Systems: One **Insulation Layers:** Two
Total Insul. Thickness: 3" **Total R-Value:** 18

Rooftop Projections/Equipment

Description: Five square curbs - eight soil stacks
HVAC Units: None Present
Pitch Pans: None Present

Roof System Conditions

Deck:	Unknown	Insulation:	Unknown
Membrane:	Requires Remedial Maintenance	Base Flashing:	Good Condition
Membrane Tie-In:	None Present		
Counter Flashing:	Good Condition		
Metal Edge:	None Present		
Cap Flashing:	Good Condition		
Coping:	Good Condition		
Gutter Edge:	None Present		
Expansion Joint:	Good Condition		
Wall Exp. Joint:	None Present		
Wall Surfaces:			
Require Attention:	No		
Recommendation:	N/A		
Condition Comments:	Two wind blown corners. Organic debris in drains and roof surface. Damaged vent hood. Membrane is blistering.		

Water Removal

Roof Slope:	Dead level	Slope Method:	N/A
Drainage Method:	Four drains	Drainage:	Fair
Add Drains/Number:	No	Add Taper:	No

Testing Recommended

Structural Analysis:	No	Dew Point Analysis:	No
Infrared Survey:	No	Asbestos Sampling:	No
ACRM Results:	N/A		

General Comments

Roof requires minor preventative maintenance to facilitate its proper performance throughout the duration of its design service life.

Conclusions

Year Scheduled Or Projected Service Life:	10-14
Capital Recommendation:	No Work Required
Capital Budget:	\$0
Maintenance Recommendation:	Remedial Maintenance
Maintenance Budget:	\$3100

Roof Survey Data

**Menomonee Falls, School District of
Thomas Jefferson Middle School (117)
Roof Area Number: 12**

General Information

Survey Date: 06/15/13
Next Survey Date: 03/01/15
Roof Size (square feet): 5115
Roof Height (feet): 16
Roof Perimeter (lin feet): 269
Roof Traffic: None
Leak Reported: No
Construction Access: Indirect
Interior Affect On Roof: No

Historical Information

Roof Installation Date: 1998
System Warranted: No
Warranty Issue Date: 08/15/98 **Warr. Expire Date:** 08/15/08
Installation Contractor: Carlson Racine Roofing, Inc.
Warranty Holder: Seal-Dry/USA, Inc.
Warranty Number: FNP0771210

Roof Construction

Description: Precast concrete deck - 2-ply vapor retarder - 1.5"
polyisocyanurate insulation - fully-adhered PVC single-ply roof
membrane
Num. Of Roof Systems: One **Insulation Layers:** One
Total Insul. Thickness: 1.5" **Total R-Value:** 16.8

Rooftop Projections/Equipment

Description: None Present
HVAC Units: None Present
Pitch Pans: None Present

Roof System Conditions

Deck:	Unknown	Insulation:	Unknown
Membrane:	Good Condition	Base Flashing:	None Present
Membrane Tie-In:	None Present		
Counter Flashing:	None Present		
Metal Edge:	Good Condition		
Cap Flashing:	None Present		
Coping:	None Present		
Gutter Edge:	None Present		
Expansion Joint:	None Present		
Wall Exp. Joint:	None Present		
Wall Surfaces:			
Require Attention:	None Present		
Recommendation:	N/A		
Condition Comments:	Tree overgrowth and organic debris on roof.		

Water Removal

Roof Slope:	9 inches/foot	Slope Method:	Structural
Drainage Method:	Eave run-off	Drainage:	Good
Add Drains/Number:	No	Add Taper:	No

Testing Recommended

Structural Analysis:	No	Dew Point Analysis:	No
Infrared Survey:	No	Asbestos Sampling:	No
ACRM Results:	N/A		

General Comments

Roof requires minor preventative maintenance to facilitate its proper performance throughout the duration of its design service life.

Conclusions

Year Scheduled Or Projected Service Life:	10-14
Capital Recommendation:	No Work Required
Capital Budget:	\$0
Maintenance Recommendation:	No Work Required
Maintenance Budget:	\$0

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Roof Survey Data

**Menomonee Falls, School District of
Community Center (4614)
Roof Area Number: 01**

General Information

Survey Date: 06/13/13
Next Survey Date: 06/01/14
Roof Size (square feet): 6300
Roof Height (feet): 20
Roof Perimeter (lin feet): 320
Roof Traffic: Light
Leak Reported: No
Construction Access: Direct
Interior Affect On Roof: No

Historical Information

Roof Installation Date: 1996
System Warranted: No
Warranty Issue Date: **Warr. Expire Date:**
Installation Contractor: Unknown
Warranty Holder: Unknown
Warranty Number: N/A

Roof Construction

Description: Steel deck - rigid insulation, loose-laid - .045 single-ply EPDM
roof membrane - fabric protection mat - stone ballast
Num. Of Roof Systems: One **Insulation Layers:** Unknown
Total Insul. Thickness: Unknown **Total R-Value:** Unknown

Rooftop Projections/Equipment

Description: Four small pipes
HVAC Units: Two on curbs
Pitch Pans: None Present

Roof System Conditions

Deck:	Unknown	Insulation:	Unknown
Membrane:	Requires Preventative Maintenance	Base Flashing:	Good Condition
Membrane Tie-In:	None Present		
Counter Flashing:	None Present		
Metal Edge:	None Present		
Cap Flashing:	Good Condition		
Coping:	None Present		
Gutter Edge:	None Present		
Expansion Joint:	None Present		
Wall Exp. Joint:	None Present		
Wall Surfaces:			
Require Attention:	No		
Recommendation:	N/A		
Condition Comments:	Displaced stone ballast. Uneven insulation along south perimeter. Slip sheets have shifted. Open flashing seams.		

Water Removal

Roof Slope:	Unknown	Slope Method:	Unknown
Drainage Method:	Four drains	Drainage:	Good
Add Drains/Number:	No	Add Taper:	No

Testing Recommended

Structural Analysis:	No	Dew Point Analysis:	No
Infrared Survey:	No	Asbestos Sampling:	No
ACRM Results:	N/A		

General Comments

The design service life will be up in 2014. Two leaks which occur one time every spring.

Conclusions

Year Scheduled Or Projected Service Life:	2015
Capital Recommendation:	Replacement
Capital Budget:	\$38000
Maintenance Recommendation:	Preventative Maintenance
Maintenance Budget:	\$200

Roof Survey Data

**Menomonee Falls, School District of
Community Center (4614)
Roof Area Number: 02**

General Information

Survey Date: 06/13/13
Next Survey Date: 06/01/14
Roof Size (square feet): 680
Roof Height (feet): 20
Roof Perimeter (lin feet): 108
Roof Traffic: None
Leak Reported: No
Construction Access: Direct
Interior Affect On Roof: No

Historical Information

Roof Installation Date: 1996
System Warranted: No
Warranty Issue Date: **Warr. Expire Date:**
Installation Contractor: Unknown
Warranty Holder: Unknown
Warranty Number: N/A

Roof Construction

Description: Steel deck - rigid insulation, loose-laid - .045 single-ply EPDM
roof membrane - fabric protection mat - stone ballast
Num. Of Roof Systems: One **Insulation Layers:** Unknown
Total Insul. Thickness: Unknown **Total R-Value:** Unknown

Rooftop Projections/Equipment

Description: None Present
HVAC Units: None Present
Pitch Pans: None Present

Roof System Conditions

Deck:	Unknown	Insulation:	Unknown
Membrane:	Requires Preventative Maintenance	Base Flashing:	None Present
Membrane Tie-In:	None Present		
Counter Flashing:	None Present		
Metal Edge:	None Present		
Cap Flashing:	Good Condition		
Coping:	None Present		
Gutter Edge:	None Present		
Expansion Joint:	None Present		
Wall Exp. Joint:	None Present		
Wall Surfaces:			
Require Attention:	None Present		
Recommendation:	N/A		
Condition Comments:	Stone ballast needs to be redistributed along east perimeter. Debris at scupper. Minor to moderate shrinkage.		

Water Removal

Roof Slope:	Unknown	Slope Method:	Unknown
Drainage Method:	One scupper	Drainage:	Poor
Add Drains/Number:	No	Add Taper:	Yes

Testing Recommended

Structural Analysis:	No	Dew Point Analysis:	No
Infrared Survey:	No	Asbestos Sampling:	No
ACRM Results:	N/A		

General Comments

The roof system appears to lack structural slope or tapered insulation resulting in ponding water.

Conclusions

Year Scheduled Or Projected Service Life:	2015
Capital Recommendation:	Replacement
Capital Budget:	\$6000
Maintenance Recommendation:	Preventative Maintenance
Maintenance Budget:	\$400

Roof Survey Data

**Menomonee Falls, School District of
Community Center (4614)
Roof Area Number: 03**

General Information

Survey Date: 06/13/13
Next Survey Date: 06/01/14
Roof Size (square feet): 11554
Roof Height (feet): 10
Roof Perimeter (lin feet): 624
Roof Traffic: Moderate
Leak Reported: Yes
Construction Access: Direct
Interior Affect On Roof: No

Historical Information

Roof Installation Date: 1996
System Warranted: No
Warranty Issue Date: **Warr. Expire Date:**
Installation Contractor: Unknown
Warranty Holder: Unknown
Warranty Number: N/A

Roof Construction

Description: Steel deck - rigid insulation, loose-laid - .045 single-ply EPDM
roof membrane - fabric protection mat - stone ballast
Num. Of Roof Systems: One **Insulation Layers:** Unknown
Total Insul. Thickness: Unknown **Total R-Value:** Unknown

Rooftop Projections/Equipment

Description: Seven square curbs - two hot stacks - five soil stacks - sixteen
small pipes - one satellite dish
HVAC Units: Eight on curbs
Pitch Pans: Two

Roof System Conditions

Deck:	Unknown	Insulation:	Unknown
Membrane:	Requires Preventative Maintenance	Base Flashing:	Requires Preventative Maintenance
Membrane Tie-In:	None Present		
Counter Flashing:	Good Condition		
Metal Edge:	None Present		
Cap Flashing:	Good Condition		
Coping:	None Present		
Gutter Edge:	None Present		
Expansion Joint:	None Present		
Wall Exp. Joint:	None Present		
Wall Surfaces:			
Require Attention:	No		
Recommendation:	N/A		
Condition Comments:	Pipe supports are deteriorated. Broken paver. Broken soil stack. Deteriorated finish on HVAC units. Base flashing is tenting. Displaced ballast.		

Water Removal

Roof Slope:	Unknown	Slope Method:	Unknown
Drainage Method:	Four drains	Drainage:	Good
Add Drains/Number:	No	Add Taper:	No

Testing Recommended

Structural Analysis:	No	Dew Point Analysis:	No
Infrared Survey:	No	Asbestos Sampling:	No
ACRM Results:	N/A		

General Comments

Minor flashing deficiencies at Class B chimney and base flashings.

Conclusions

Year Scheduled Or Projected Service Life:	2015
Capital Recommendation:	Replacement
Capital Budget:	\$75000
Maintenance Recommendation:	Repairs Only
Maintenance Budget:	\$1000

Roof Survey Data

**Menomonee Falls, School District of
Community Center (4614)**

Roof Area Number: 04

General Information

Survey Date: 06/13/13

Next Survey Date: 06/01/14

Roof Size (square feet): 1620

Roof Height (feet): 15

Roof Perimeter (lin feet): 216

Roof Traffic: None

Leak Reported: No

Construction Access: Direct

Interior Affect On Roof: No

Historical Information

Roof Installation Date: 1996

System Warranted: No

Warranty Issue Date:

Warr. Expire Date:

Installation Contractor: Unknown

Warranty Holder: Unknown

Warranty Number: N/A

Roof Construction

Description: Steel deck - rigid insulation, loose-laid - .045 single-ply EPDM
roof membrane - fabric protection mat - stone ballast

Num. Of Roof Systems: One **Insulation Layers:** Unknown

Total Insul. Thickness: Unknown **Total R-Value:** Unknown

Rooftop Projections/Equipment

Description: None Present

HVAC Units: None Present

Pitch Pans: None Present

Roof System Conditions

Deck:	Unknown	Insulation:	Unknown
Membrane:	Requires Preventative Maintenance	Base Flashing:	Good Condition
Membrane Tie-In:	None Present		
Counter Flashing:	Good Condition		
Metal Edge:	None Present		
Cap Flashing:	Good Condition		
Coping:	None Present		
Gutter Edge:	None Present		
Expansion Joint:	None Present		
Wall Exp. Joint:	None Present		
Wall Surfaces:			
Require Attention:	No		
Recommendation:	N/A		
Condition Comments:	Deteriorated pipe supports. Deteriorated slip sheet and displaced ballast.		

Water Removal

Roof Slope:	Unknown	Slope Method:	Unknown
Drainage Method:	3 scuppers	Drainage:	Good
Add Drains/Number:	No	Add Taper:	No

Testing Recommended

Structural Analysis:	No	Dew Point Analysis:	No
Infrared Survey:	No	Asbestos Sampling:	No
ACRM Results:	N/A		

General Comments

Counter flashing and through-wall flashing recently replaced.

Conclusions

Year Scheduled Or Projected Service Life:	2015
Capital Recommendation:	Replacement
Capital Budget:	\$10000
Maintenance Recommendation:	Preventative Maintenance
Maintenance Budget:	\$100

Roof Survey Data

**Menomonee Falls, School District of
Community Center (4614)
Roof Area Number: 05**

General Information

Survey Date: 06/13/13
Next Survey Date: 06/01/14
Roof Size (square feet): 1960
Roof Height (feet): 10
Roof Perimeter (lin feet): 196
Roof Traffic: None
Leak Reported: No
Construction Access: Direct
Interior Affect On Roof: No

Historical Information

Roof Installation Date: 1996
System Warranted: No
Warranty Issue Date: **Warr. Expire Date:**
Installation Contractor: Unknown
Warranty Holder:
Warranty Number: N/A

Roof Construction

Description: Steel deck - rigid insulation, loose-laid - .045 single-ply EPDM
roof membrane - fabric protection mat - stone ballast
Num. Of Roof Systems: One **Insulation Layers:** Unknown
Total Insul. Thickness: Unknown **Total R-Value:** Unknown

Rooftop Projections/Equipment

Description: Two soil stacks - two small pipes
HVAC Units: One on curbs
Pitch Pans: None Present

Roof System Conditions

Deck:	Unknown	Insulation:	Unknown
Membrane:	Requires Preventative Maintenance	Base Flashing:	Requires Preventative Maintenance
Membrane Tie-In:	None Present		
Counter Flashing:	Good Condition		
Metal Edge:	None Present		
Cap Flashing:	Good Condition		
Coping:	None Present		
Gutter Edge:	None Present		
Expansion Joint:	None Present		
Wall Exp. Joint:	None Present		
Wall Surfaces:			
Require Attention:	No		
Recommendation:	N/A		
Condition Comments:	Delaminated flashing corner, broken glass & other debris across roof surface. Algae growing around roof drain.		

Water Removal

Roof Slope:	Unknown	Slope Method:	Unknown
Drainage Method:	One drain	Drainage:	Fair
Add Drains/Number:	No	Add Taper:	No

Testing Recommended

Structural Analysis:	No	Dew Point Analysis:	No
Infrared Survey:	No	Asbestos Sampling:	No
ACRM Results:	N/A		

General Comments

Deteriorated pipe supports. Through-wall and counter flashing recently replaced. One leak recently repaired.

Conclusions

Year Scheduled Or Projected Service Life:	2015
Capital Recommendation:	Replacement
Capital Budget:	\$12000
Maintenance Recommendation:	Repairs Only
Maintenance Budget:	\$800

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Roof Survey Data

**Menomonee Falls, School District of
Hiawatha-Administration Building (340)
Roof Area Number: 01**

General Information

Survey Date: 10/02/09
Next Survey Date: 10/01/11
Roof Size (square feet): 11291
Roof Height (feet): 16
Roof Perimeter (lin feet): 480
Roof Traffic: Light
Leak Reported: No
Construction Access: Direct
Interior Affect On Roof: No

Historical Information

Roof Installation Date: 2002
System Warranted: No
Warranty Issue Date: 06/17/02 **Warr. Expire Date:** 06/17/12
Installation Contractor: Northern Metal & Roofing Company, Inc.
Warranty Holder: Johns-Manville Corporation
Warranty Number: FOE071012842

Roof Construction

Description: Precast concrete deck - 1" Expanded polystyrene insulation -
Tapered expanded polystyrene insulation - .045 EPDM single-
ply roof membrane, stone ballast
Num. Of Roof Systems: One **Insulation Layers:** Two
Total Insul. Thickness: 4.1" avg **Total R-Value:** 16.25 avg

Rooftop Projections/Equipment

Description: Two square curbs - one A.C. condensor - four pipe vents (stacks)
- eight soil stacks - one chimney
HVAC Units: None Present
Pitch Pans: One

Roof System Conditions

Deck:	Unknown	Insulation:	Unknown
Membrane:	Good Condition	Base Flashing:	Requires Preventative Maintenance
Membrane Tie-In:	None Present		
Counter Flashing:	None Present		
Metal Edge:	None Present		
Cap Flashing:	Good Condition		
Coping:	None Present		
Gutter Edge:	None Present		
Expansion Joint:	Good Condition		
Wall Exp. Joint:	None Present		
Wall Surfaces:			
Require Attention:	No		
Recommendation:	N/A		
Condition Comments:	There is some debris in the drains and on the roof. A tree has overgrown the roof and the uncured flashing has delaminating from the soil stacks.		

Water Removal

Roof Slope:	1/8 inch/foot	Slope Method:	Tapered Insulation
Drainage Method:	Three drains	Drainage:	Good
Add Drains/Number:	No	Add Taper:	No

Testing Recommended

Structural Analysis:	No	Dew Point Analysis:	No
Infrared Survey:	No	Asbestos Sampling:	No
ACRM Results:	N/A		

General Comments

The delaminated uncured flashings will be covered under a warranty.

Conclusions

Year Scheduled Or Projected Service Life:	10-14
Capital Recommendation:	No Work Required
Capital Budget:	\$0
Maintenance Recommendation:	Preventative Maintenance
Maintenance Budget:	\$200

Roof Survey Data

**Menomonee Falls, School District of
Hiawatha-Administration Building (340)
Roof Area Number: 02**

General Information

Survey Date: 10/02/09
Next Survey Date: 10/01/11
Roof Size (square feet): 897
Roof Height (feet): 16
Roof Perimeter (lin feet): 125
Roof Traffic: Light
Leak Reported: No
Construction Access: Direct
Interior Affect On Roof: No

Historical Information

Roof Installation Date: 2002
System Warranted: No
Warranty Issue Date: 06/17/02 **Warr. Expire Date:** 06/17/12
Installation Contractor: Northern Metal & Roofing Company, Inc.
Warranty Holder: Johns-Manville Corporation
Warranty Number: FOE071012842

Roof Construction

Description: Precast concrete deck - 1" expanded polystyrene insulation -
Tapered expanded polystyrene insulation - .045 EPDM single-
ply roof membrane, stone ballast
Num. Of Roof Systems: One **Insulation Layers:** Two
Total Insul. Thickness: 3.2" avg **Total R-Value:** 12.75 avg

Rooftop Projections/Equipment

Description: Two square curbs - one soil stack
HVAC Units: None Present
Pitch Pans: None Present

Roof System Conditions

Deck:	Good Condition	Insulation:	Dry
Membrane:	Good Condition	Base Flashing:	Requires Preventative Maintenance
Membrane Tie-In:	None Present		
Counter Flashing:	None Present		
Metal Edge:	None Present		
Cap Flashing:	Good Condition		
Coping:	None Present		
Gutter Edge:	None Present		
Expansion Joint:	Good Condition		
Wall Exp. Joint:	None Present		
Wall Surfaces:			
Require Attention:	No		
Recommendation:	N/A		
Condition Comments:	An inside corner patch has delaminated in the southeast corner. There is construction debris on the roof. The glazing compound on the window sash is deteriorated and missing.		

Water Removal

Roof Slope:	1/8 inch/foot	Slope Method:	Tapered Insulation
Drainage Method:	One drain	Drainage:	Good
Add Drains/Number:	No	Add Taper:	No

Testing Recommended

Structural Analysis:	No	Dew Point Analysis:	No
Infrared Survey:	No	Asbestos Sampling:	No
ACRM Results:	N/A		

General Comments

None

Conclusions

Year Scheduled Or Projected Service Life:	10-14
Capital Recommendation:	No Work Required
Capital Budget:	\$0
Maintenance Recommendation:	Preventative Maintenance
Maintenance Budget:	\$100

Roof Survey Data

**Menomonee Falls, School District of
Hiawatha-Administration Building (340)
Roof Area Number: 03**

General Information

Survey Date: 10/02/09
Next Survey Date: 10/01/11
Roof Size (square feet): 7080
Roof Height (feet): 25
Roof Perimeter (lin feet): 356
Roof Traffic: Light
Leak Reported: No
Construction Access: Direct
Interior Affect On Roof: No

Historical Information

Roof Installation Date: 2000
System Warranted: Yes
Warranty Issue Date: **Warr. Expire Date:**
Installation Contractor: Roberts Roofing & Siding, Inc.
Warranty Holder: Unknown
Warranty Number: Unknown

Roof Construction

Description: Precast concrete deck - 1½" polyisocyanurate insulation - 1½"
polyisocyanurate insulation - ½" fiberboard insulation - coal tar
pitch built-up roof with gravel surface
Num. Of Roof Systems: One **Insulation Layers:** Three
Total Insul. Thickness: 3.5" **Total R-Value:** 21.4

Rooftop Projections/Equipment

Description: Three square curbs - three soil stacks - one roof hatch
HVAC Units: None Present
Pitch Pans: None Present

Roof System Conditions

Deck:	Good Condition	Insulation:	Dry
Membrane:	Requires Preventative Maintenance	Base Flashing:	Requires Preventative Maintenance
Membrane Tie-In:	None Present		
Counter Flashing:	None Present		
Metal Edge:	None Present		
Cap Flashing:	Requires Preventative Maintenance		
Coping:	None Present		
Gutter Edge:	None Present		
Expansion Joint:	None Present		
Wall Exp. Joint:	None Present		
Wall Surfaces:			
Require Attention:	None Present		
Recommendation:	N/A		
Condition Comments:	Southwest corner has had gravel surface blown away. The drains have some organic debris in them and there are two locations where the SBS modified finish flashing has delaminated. Cap nails are exposed at all perimeters.		

Water Removal

Roof Slope:	Dead level	Slope Method:	Structural
Drainage Method:	Two drains.	Drainage:	Fair
Add Drains/Number:	No	Add Taper:	No

Testing Recommended

Structural Analysis:	No	Dew Point Analysis:	No
Infrared Survey:	No	Asbestos Sampling:	No
ACRM Results:	N/A		

General Comments

None

Conclusions

Year Scheduled Or Projected Service Life:	15-19
Capital Recommendation:	No Work Required
Capital Budget:	\$0
Maintenance Recommendation:	Preventative Maintenance
Maintenance Budget:	\$200

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Roof Survey Data

**Menomonee Falls, School District of
Maintenance Shop (344)
Roof Area Number: 01**

General Information

Survey Date: 06/13/13
Next Survey Date: 06/01/14
Roof Size (square feet): 7049
Roof Height (feet): 20
Roof Perimeter (lin feet): 345
Roof Traffic: Light
Leak Reported: No
Construction Access: Direct
Interior Affect On Roof: No

Historical Information

Roof Installation Date: Unknown
System Warranted: Unknown
Warranty Issue Date: **Warr. Expire Date:**
Installation Contractor: Unknown
Warranty Holder: N/A
Warranty Number: N/A

Roof Construction

Description: Steel Deck - 2-1/4 inch polyisocyanurate insulation,
mechanically attached - 1/2 inch perlite insulation, mopped -
multi-ply asphalt BUR - modified bitumen cap sheet
Num. Of Roof Systems: One **Insulation Layers:** Two
Total Insul. Thickness: 2.75 in **Total R-Value:** 13.9

Rooftop Projections/Equipment

Description: Three square curbs - five hot stacks - one soil stack - two small
pipes
HVAC Units: None Present
Pitch Pans: None Present

Roof System Conditions

Deck:	Good Condition	Insulation:	Unknown
Membrane:	Requires Preventative Maintenance	Base Flashing:	Good Condition
Membrane Tie-In:	Good Condition		
Counter Flashing:	None Present		
Metal Edge:	Good Condition		
Cap Flashing:	None Present		
Coping:	None Present		
Gutter Edge:	Requires Remedial Maintenance		
Expansion Joint:	None Present		
Wall Exp. Joint:	None Present		
Wall Surfaces:			
Require Attention:	None Present		
Recommendation:	N/A		
Condition Comments:	Debris clogging gutters and downspouts. Gutter seams and straps require maintenance. Few blisters in membrane.		

Water Removal

Roof Slope:	1 inch/foot	Slope Method:	Structural
Drainage Method:	Gutters	Drainage:	Good
Add Drains/Number:	No	Add Taper:	No

Testing Recommended

Structural Analysis:	No	Dew Point Analysis:	No
Infrared Survey:	No	Asbestos Sampling:	No
ACRM Results:	N/A		

General Comments

Forty percent of roof appears to be a different membrane. Roof is experiencing granule loss.

Conclusions

Year Scheduled Or Projected Service Life:	10-14
Capital Recommendation:	No Work Required
Capital Budget:	\$0
Maintenance Recommendation:	Remedial Maintenance
Maintenance Budget:	\$15000

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